



# Staff Report

## Major Subdivision A

Case #: SUB-2015-05-00015

Planning Commission Public Hearing: Thursday, November 5, 2015

City Council Introduction: Tuesday Feb. 23, 2016

City Council Final: TBD

### Attachments:

Staff Report, Photos (11/2015), Construction Plans, Draft Bond/Letter of Credit, Est. of Construction Costs, Streets Dept Approval Letter, Water /Sewer Letter, Planning Approval Letter with Conditions, LS Flood Suction Email with Specifications, Stop Work Notice, Letter of Fines, Extension of Sewer Line Approved Survey, Approval Letter for Minor Subdivision to include Drainage Pond in Providence Ridge Major Subdivision & Survey, Letter from City Attorney for Testing Requirements, Application, Property Information Sheet, Zoning Map, Aerial Map

### City Council Request (Ordinance):

Introduction of an Ordinance to approve a Major Final Subdivision for Providence Ridge Subdivision (Lots 1-101 & Greenspace), acceptance of dedication of water, sewer, and right of way improvements, acceptance of 1 year performance bond/letter of credit in the amount of \$1,950,000 for the construction of all public improvements in accordance with final plat and construction drawings by Barrilleaux and Associates Inc. (Sheets 1 to 11) dated revised 11/30/2015 as requested by Tangi East LLC at Temp Add# 17; Zoned RS-5 (Case#SUB-2015-05-00015) Recommended approval with conditions by Planning Commission (Josh Taylor)

### Site Information:

**Location (Address):** TempAdd17 Dr John Lambert Dr

**Council District:** City Council District 3

**Existing Zoning:** RS-3

**Future Land Use:** Commercial

**Existing Land Use:** Undeveloped

### Site Description:

Undeveloped 29.53 acres at the end of Dr. John Lambert Drive

### Adjacent Land Use and Zoning:

<u>Direction:</u>	<u>Land Use/Zoning:</u>
North	Undeveloped/C-H
South	Undeveloped/Outside City Limits
West	Undeveloped/C-H
East	Undeveloped/outside city limits

### Additional Information:

July 1, 2015: Public hearing was held and commission voted to table this request.

July 28, 2015: City of Hammond removed this request from the agenda do to lack of information that is required per the UDC .

November 5, 2015: Planning Commission recommends approval conditioned that Planning Dept receives final approval from all city depts before forwarding the request to City Council.

January 12, 2016: City Engineer sent required Flooded Lift Station Specifications to owners of Providence Ridge .

January 22, 2016: Stop work order was issued by Building Official.

January 25, 2016: Official Notice of Violation with fines was sent to Tangi East LLC from Building Official .

February 2, 2016: Sewer Dept. approved the 8" sewer line extension for Providence Ridge (Bill Bodin Engineer).

February 4, 2016: Planning Commission approved a minor subdivision to include required drainage pond into the Major Subdivision of Providence Ridge. (John Cummings Surveyor).

February 18, 2016: Letter from Andre Coudrain to Providence Ridge about testing requirements .

**Findings:**

Will this diminish the value of the surrounding properties?	No
Will this alter the essential character of the neighborhood?	No
Will granting this request be detrimental to the public welfare?	No
Light and air?	No
Traffic congestion or hazard?	No
Overburden existing drainage and utilities?	No
Emissions of odors, fumes, gasses, dust, smoke?	No
Noise and vibrations?	No

**Public Hearing:**

**For:** Clay Barrilleaux (Engineer)

**Against:** NONE

**Commission Recommendation:**

**Motion:** Ralph Ross to recommend approval conditioned upon planning receiving approval from all city depts before forwarding the request to the City Council

**For:** Sam McClugage, Stanley Young, Ralph Ross, William Travis,

**Against:** None

**Abstain:** NONE

**Absent:** Jimmy Meyer

**Ordinance to Read:**

TBD

**From:** Josh Taylor, City Planner \_\_\_\_\_

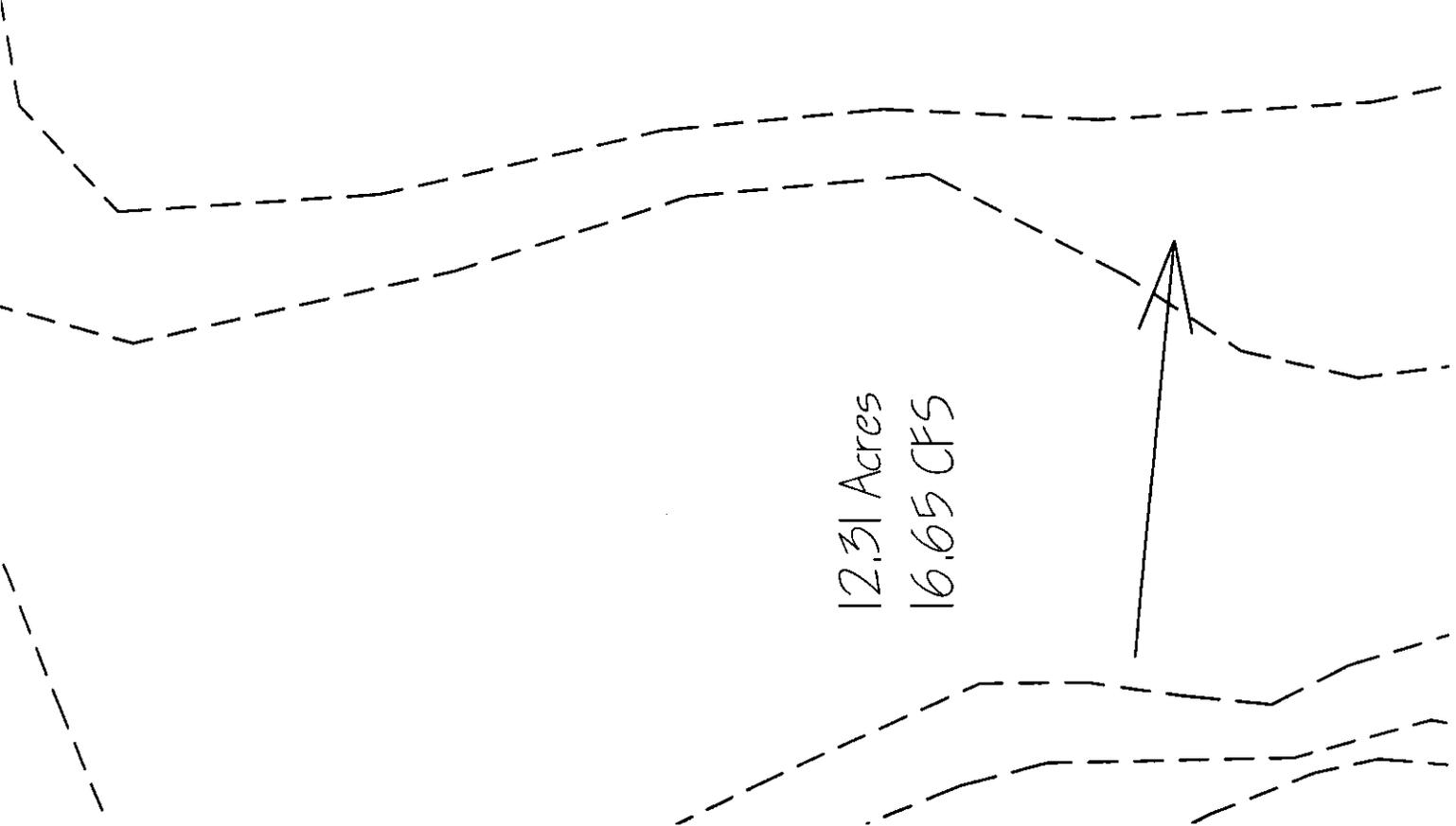


SUBDIVISION

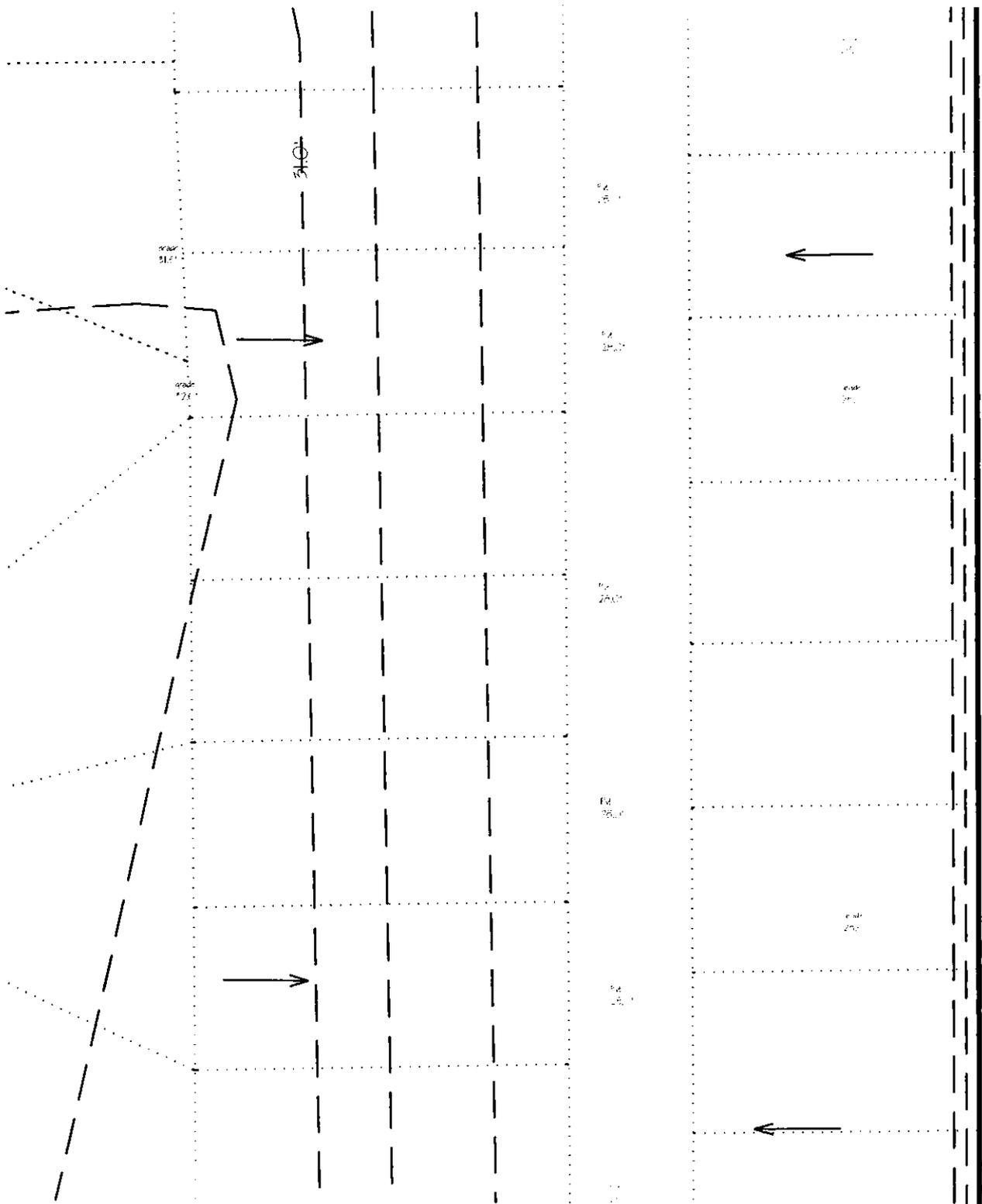
T.65., R.8E., Section 4,

City of Hammond  
Tangipahoa Parish, Louisiana

Sheet 1 - Pre Construction Elevation

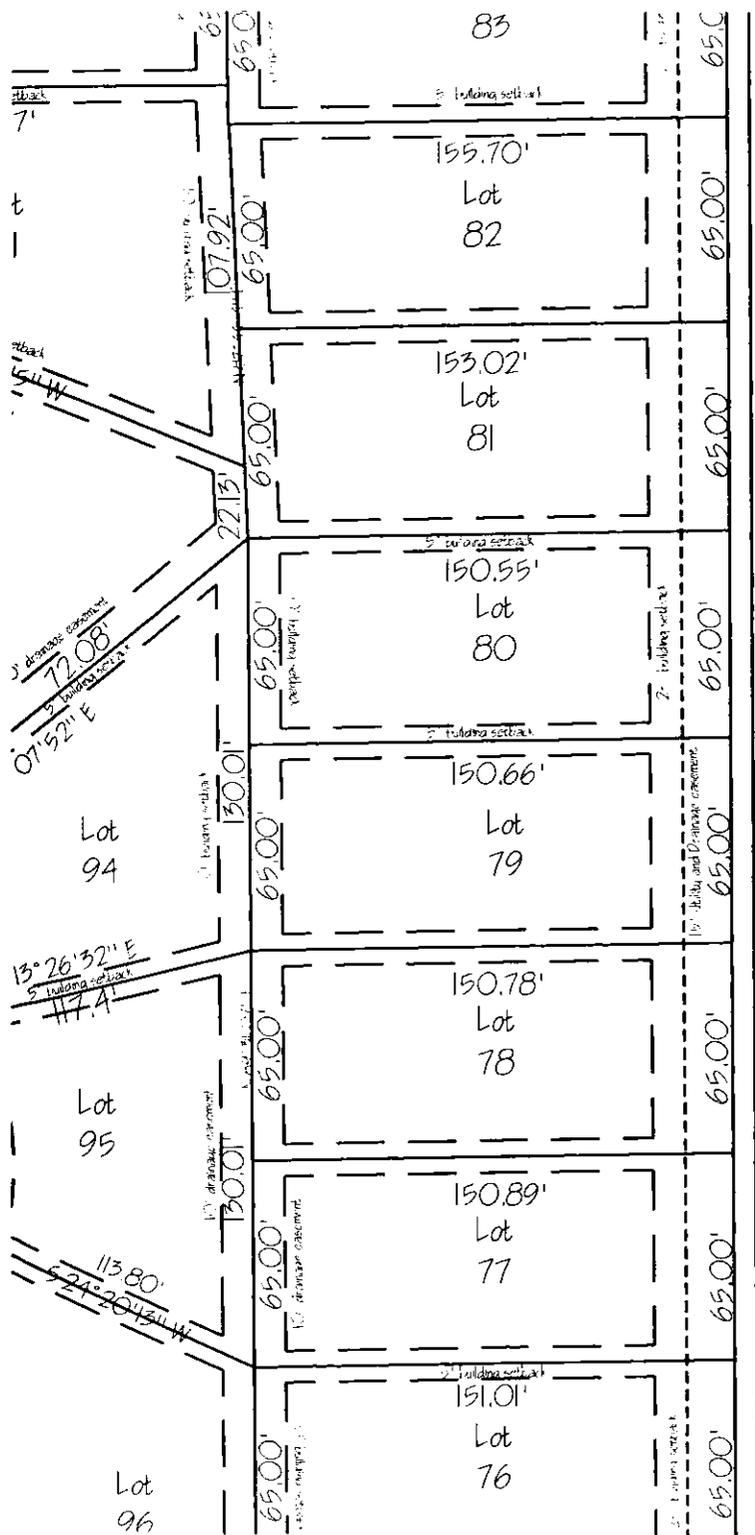


12.31 Acres  
16.65 CFS



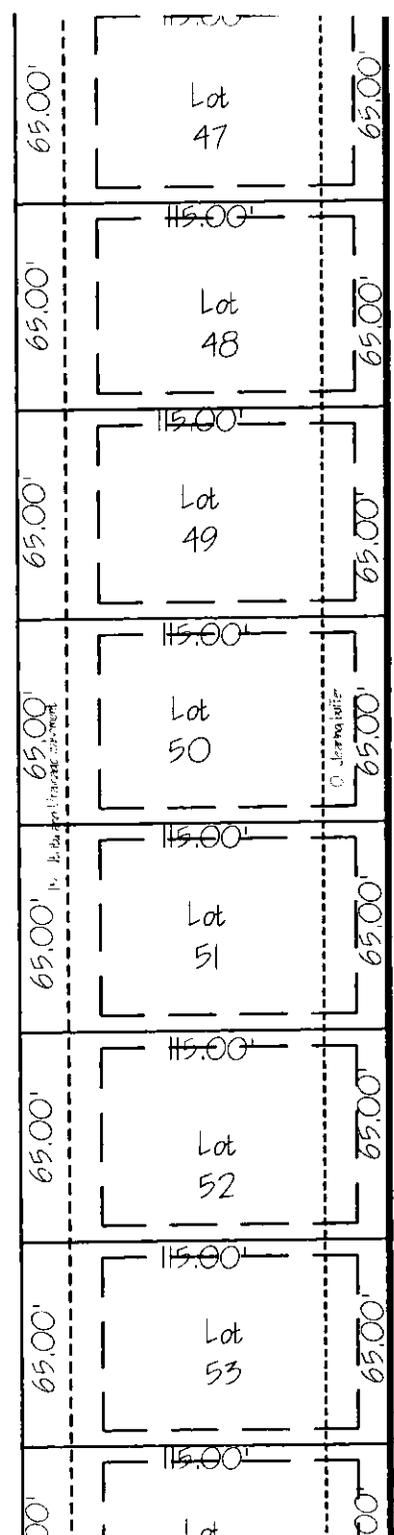
Legend

- Original contour that will not change
- New contour
- New grade elevation
- Finished pavement elevation



Providence Ridge Blvd (50' ROW)

589° 25' 03" W



589° 24' 06" W 988.28'

NAME OF PROPERTY OWNER:

NAME OF DEVELOPER:

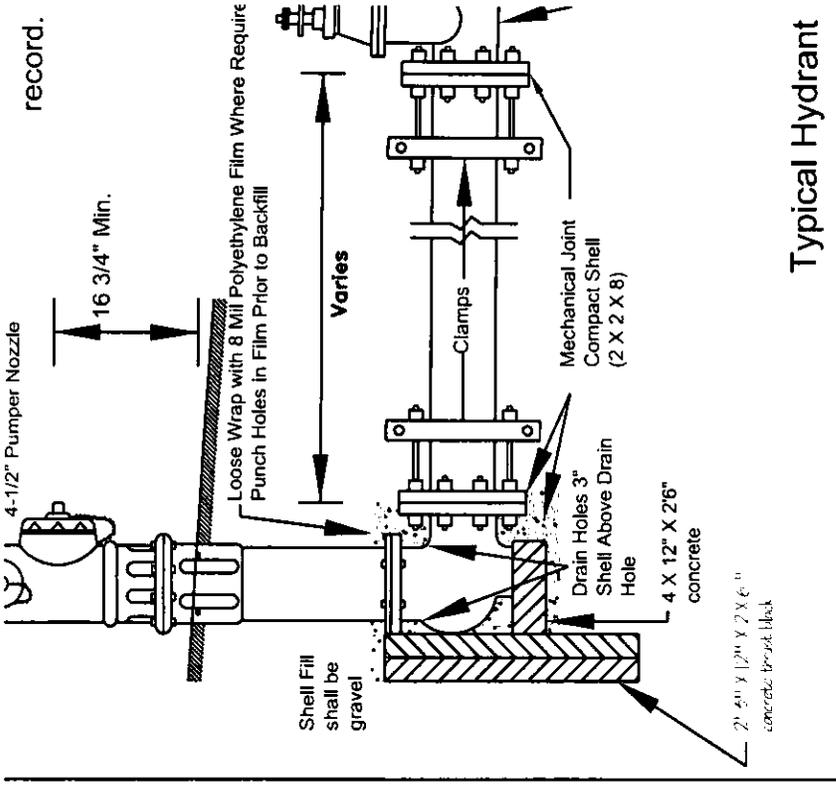
ADDRESS OF DEVELOPER:

LEGAL DESCRIPTION OF PROPERTY:  
 Township 6 South, Range 8 East,  
 Tangipahoa Parish, Louisiana, bearing  
 is N29° 24' 20" E 1805.15 feet  
 Section 4, Township 7 South, Range

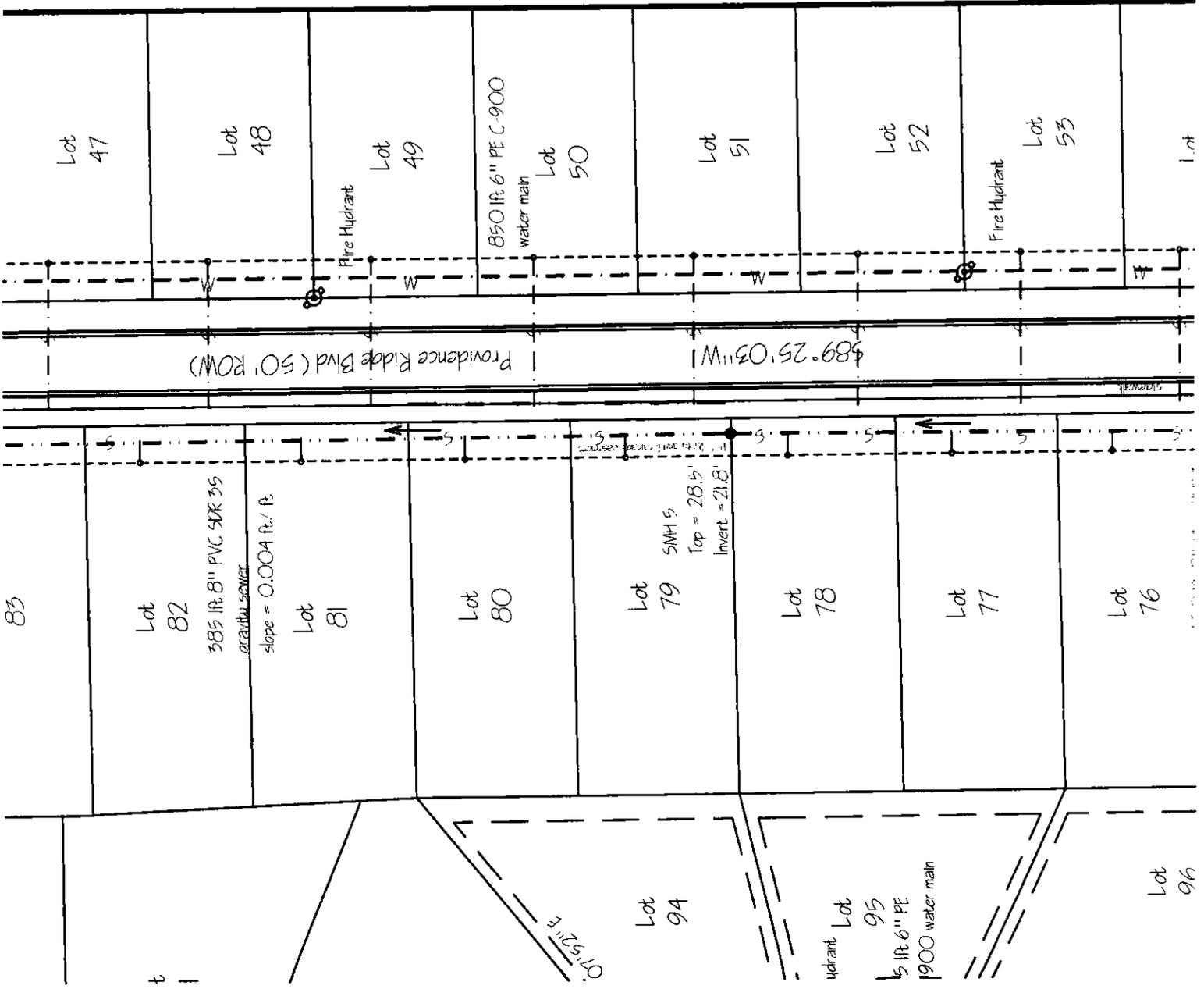
Thence North 33 degrees 57 minutes  
 thence North 08 degrees 27 minutes  
 thence North 45 degrees 37 minutes  
 thence North 22 degrees 34 minutes  
 thence North 22 degrees 35 minutes  
 thence South 80 degrees 04 minutes  
 thence South 03 degrees 01 minutes  
 thence North 89 degrees 13 minutes  
 thence South 01 degrees 01 minutes  
 thence South 88 degrees 57 minutes  
 thence North 00 degrees 55 minutes  
 thence South 89 degrees 24 minutes  
 thence North 01 degree 08 minutes  
 thence North 89 degrees 24 minutes  
 thence North 01 degrees 08 minutes  
 to the Point of Beginning of the tract  
 29.993 acres in all.

DESIGN ENGINEER'S CERTIFICATION

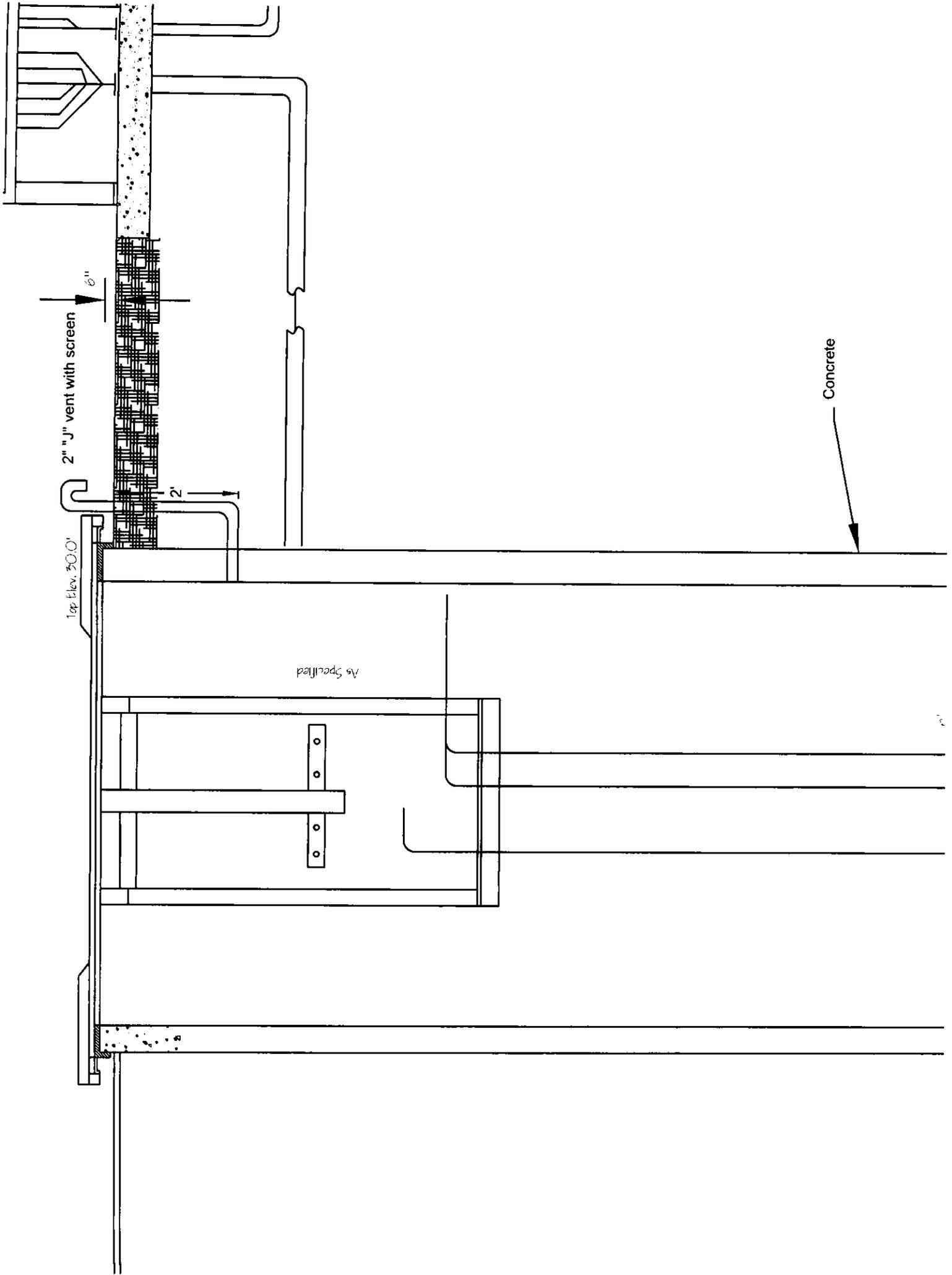
I hereby certify this legal description  
 accordance with the provisions of



589° 24' 06" W 988.28'



record.



be equipped with an enclosed, non-clog type, two port, cast iron impeller, statically and dynamically balanced. The impeller shall be bolted to the steel shaft. Pumps shall have inspection handholes in the volutes and the suction elbows.

be bolted to a steel sub-base that is welded to the chamber floor. This base shall be fabricated from minimum 3 x 3 x 1/4 inch angles, to provide a minimum 6 inch clearance under the pump stands.

Each pump shall be driven by a vertical solid shaft, normal thrust, squirrel cage induction motor, of open drip proof construction. Each motor shall be 1/2 horsepower, 1200 R.P.M., single phase, 60 hertz, 230 volt. Motors shall be NEMA Design B with Class B insulation, 40 degrees C maximum temperature rise, 1.15 service factor. Motors shall be manufactured by nationally recognized manufacturers, and shall be available through local motor suppliers.

**STEM:** The power distribution center and electrical controls shall be mounted in a common NEMA Type 1 gasketed fabricated steel enclosure. The enclosure shall have a full opening door, mounted on heavy piano hinges. Suitable type latching devices shall be provided on the door. Circuit breakers, relays, timers and wiring raceway shall be neatly arranged on a removable steel back plate. All circuit breaker operators, selector switches, indicator lights, and single phase items shall be mounted on or through die cut openings in the enclosure door. A duplex grounding type receptacle shall be mounted in die cut openings on the side of the enclosure, for operation of 115-volt devices. It shall not be necessary to open the enclosure door except for adjustment of controls. Additional enclosures may be used as necessary to meet power and control requirements.

The enclosure shall conform to the National Electrical Code specifications and shall be UL listed and labeled in accordance with UL standard No. 508 for Control Panels. In accordance with U.L. procedures, a U.L. label shall be affixed to the control panel.

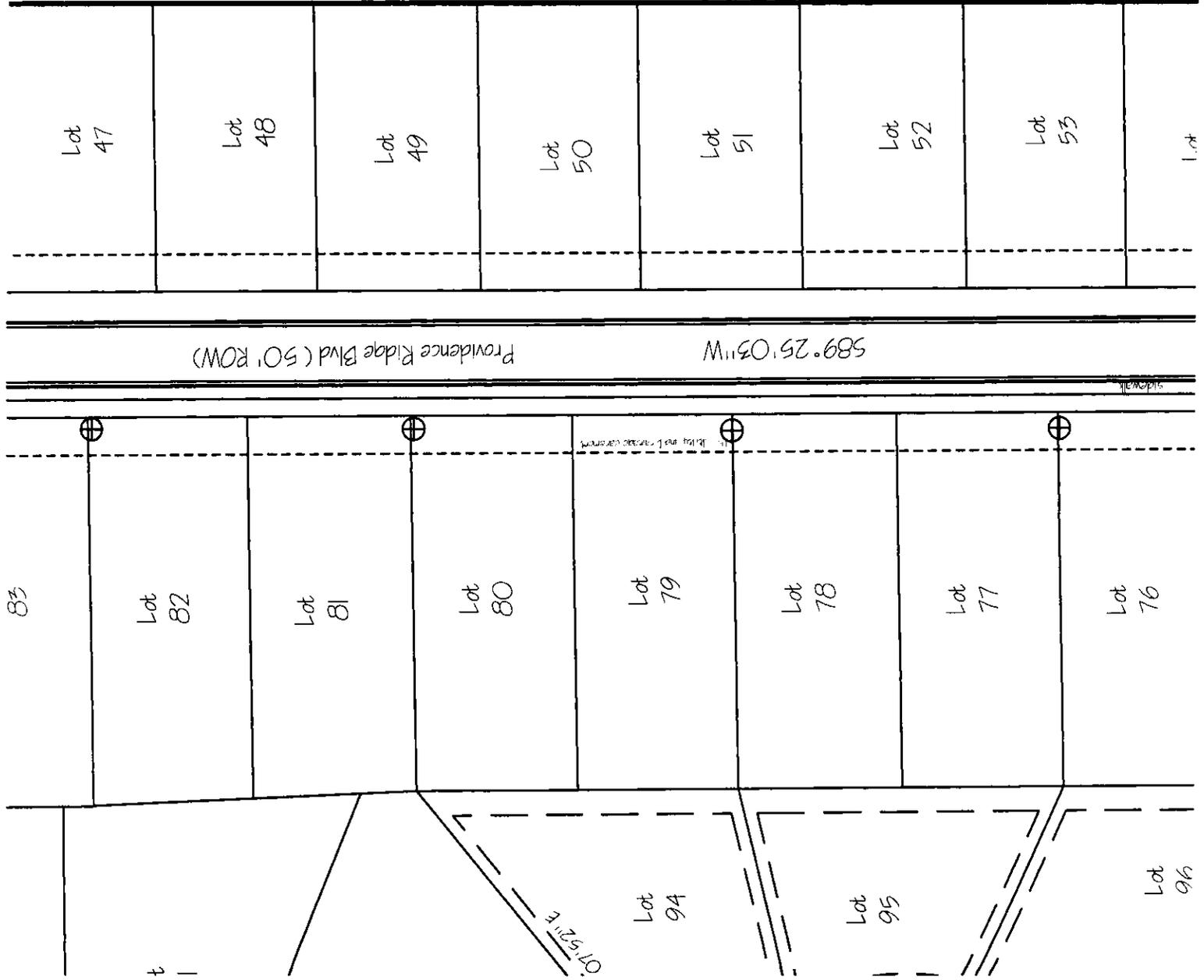
Heavy duty, molded case thermal-magnetic air circuit breakers shall be provided for branch circuit disconnect service and for over-current protection of control, motor and auxiliary circuits. Properly sized open frame, across the line, NEMA rated magnetic motor starters shall be provided for all motors. Motor starters will be provided with these standard features: dual voltage, dual frequency coils, overload test feature, front panel interlocks, straight through wiring with large silver cadmium contacts which are easily replaceable without removing starter from its panel. All NEMA rated starters will be provided with a solid state overload block which provides under voltage and overload protection, true tripping; and trips within 3 seconds. Overload is self protected against short circuits, is self-powered and requires no hard wiring or separate fuses. Motor starters will be U.L. listed 508 and CSA certified.

An alternator shall be provided to change the sequence of operation of the pumps upon completion of each pumping cycle. The alternator shall be provided with an on/off switch.

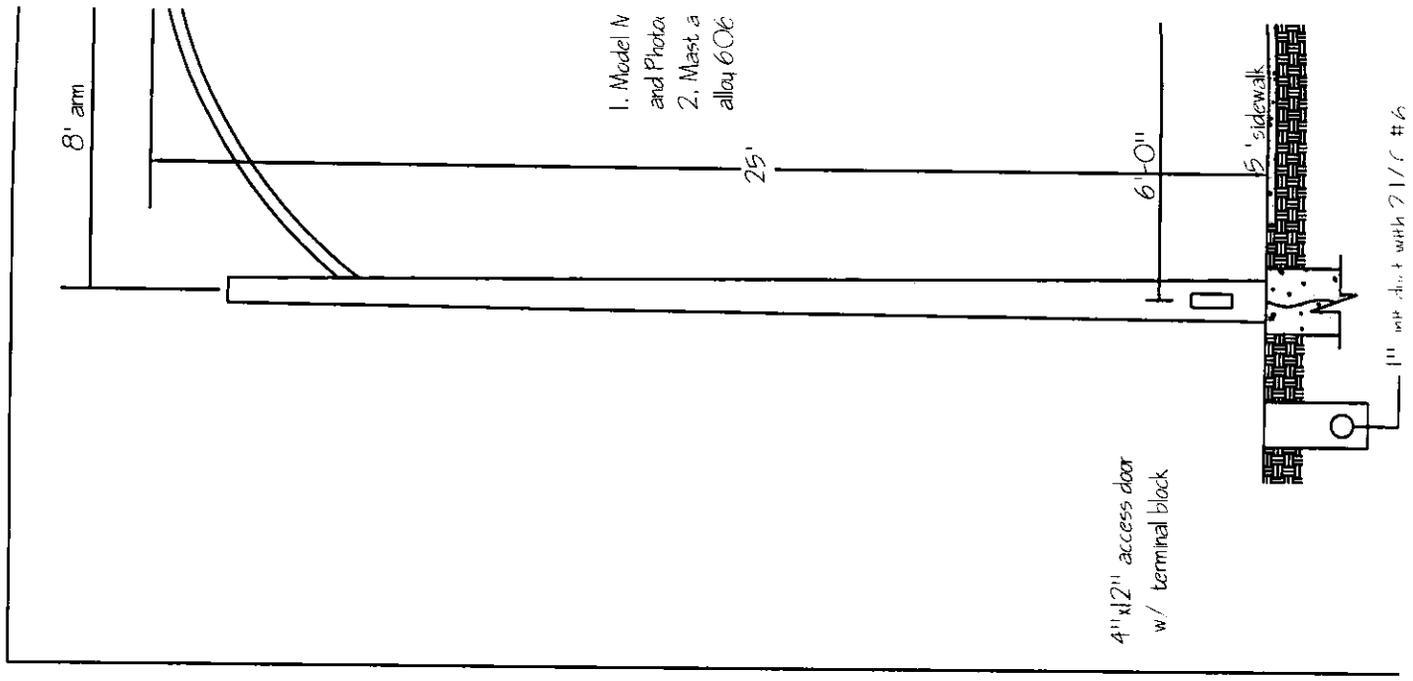
Adjustable elapsed time meters shall be provided to record the running time of each pump motor. These devices shall be mounted in die cut openings in the enclosure door.

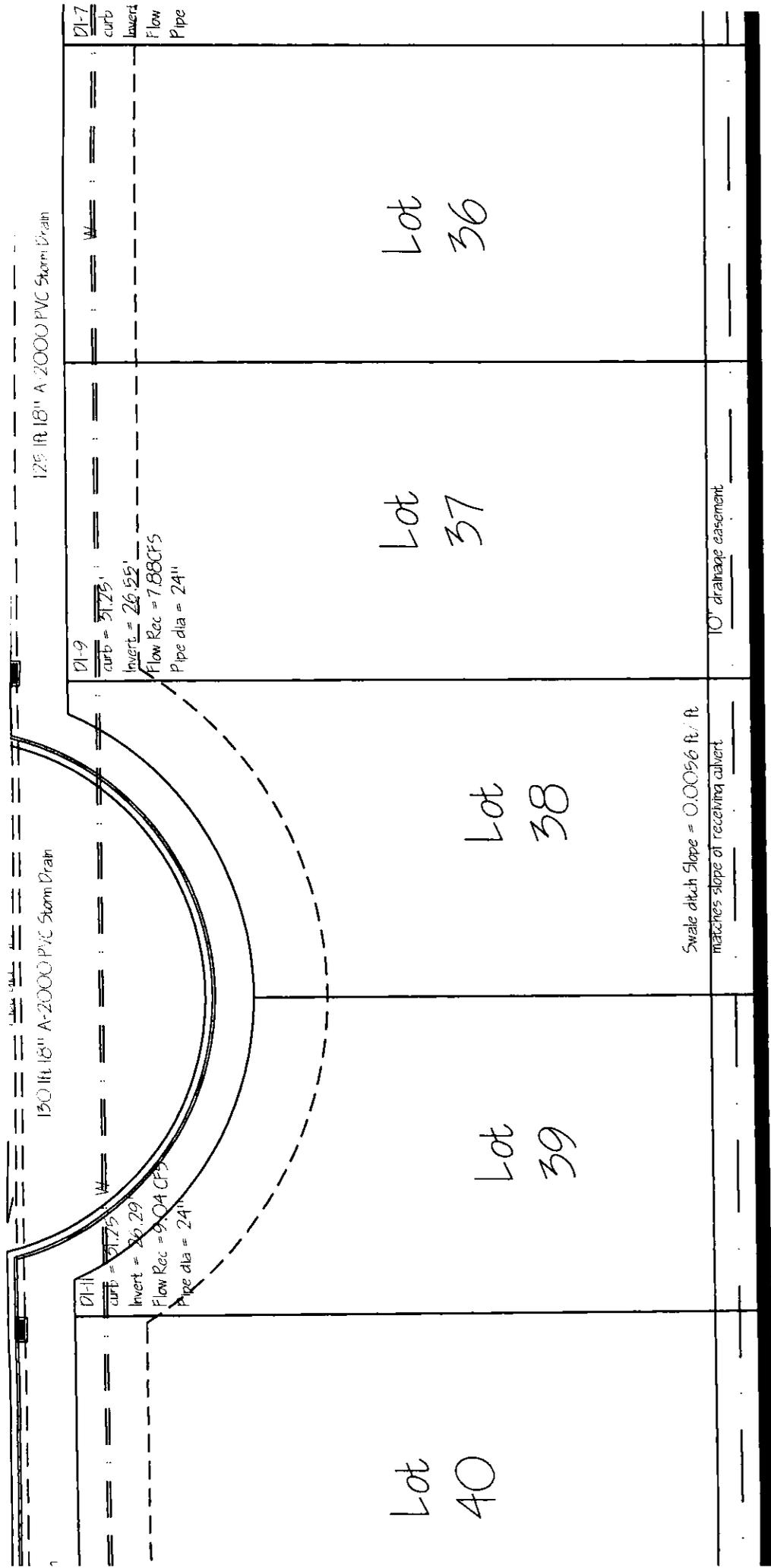
To protect the electrical system and equipment from damage due to excessive line surges caused by lightning or other circuit disturbances, a secondary surge arrester shall be supplied with the pump station controls. The arrester shall comply with ANSI standard C62.11-1987. The arrester shall be a one-pole, two-pole or three-pole version, and be suitable for both indoor and outdoor use. The arrester shall be permanently sealed in a metal enclosure. The arrester shall have a maximum continuous operating voltage rating of 650 volts rms. The permissible line-to-line voltage of the system to which the arrester is applied depends on the circuit configuration, grounding, and voltage regulation. The secondary surge arrester shall be a Square D type SD3A1175 for three phase and SDSA1175 for single phase applications.

The pump shall be supplied with a limit switch for pump fail indication. The limit switch shall be mounted on and activated by the external arm of the check valve of each pump to detect failure of the pump to deliver normal operation flow. An auxiliary time delay relay shall be provided to provide a signal and shut pump down when pump fail occurs.



589° 24' 06" W 988.28'





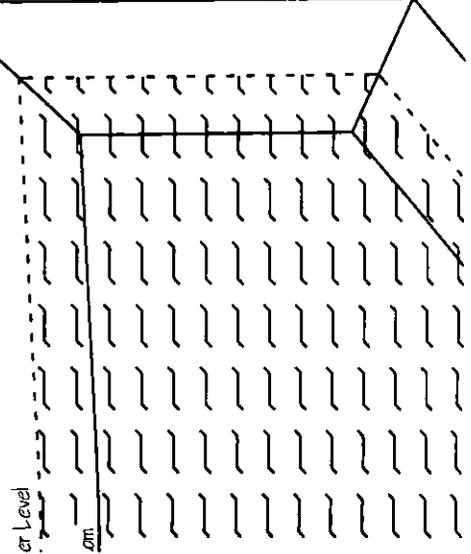
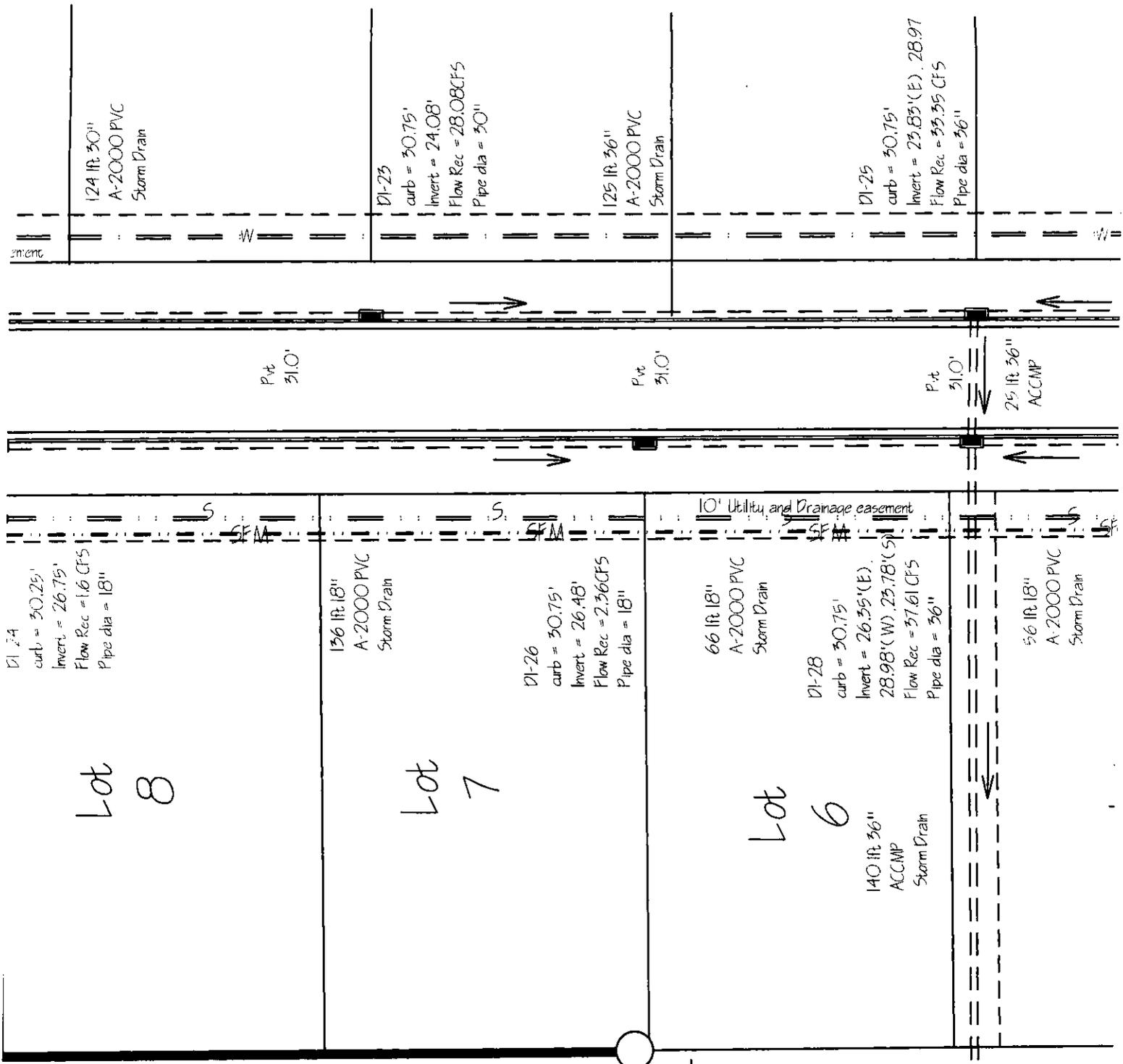
N 00° 55' 5  
 (Called N 00° 52

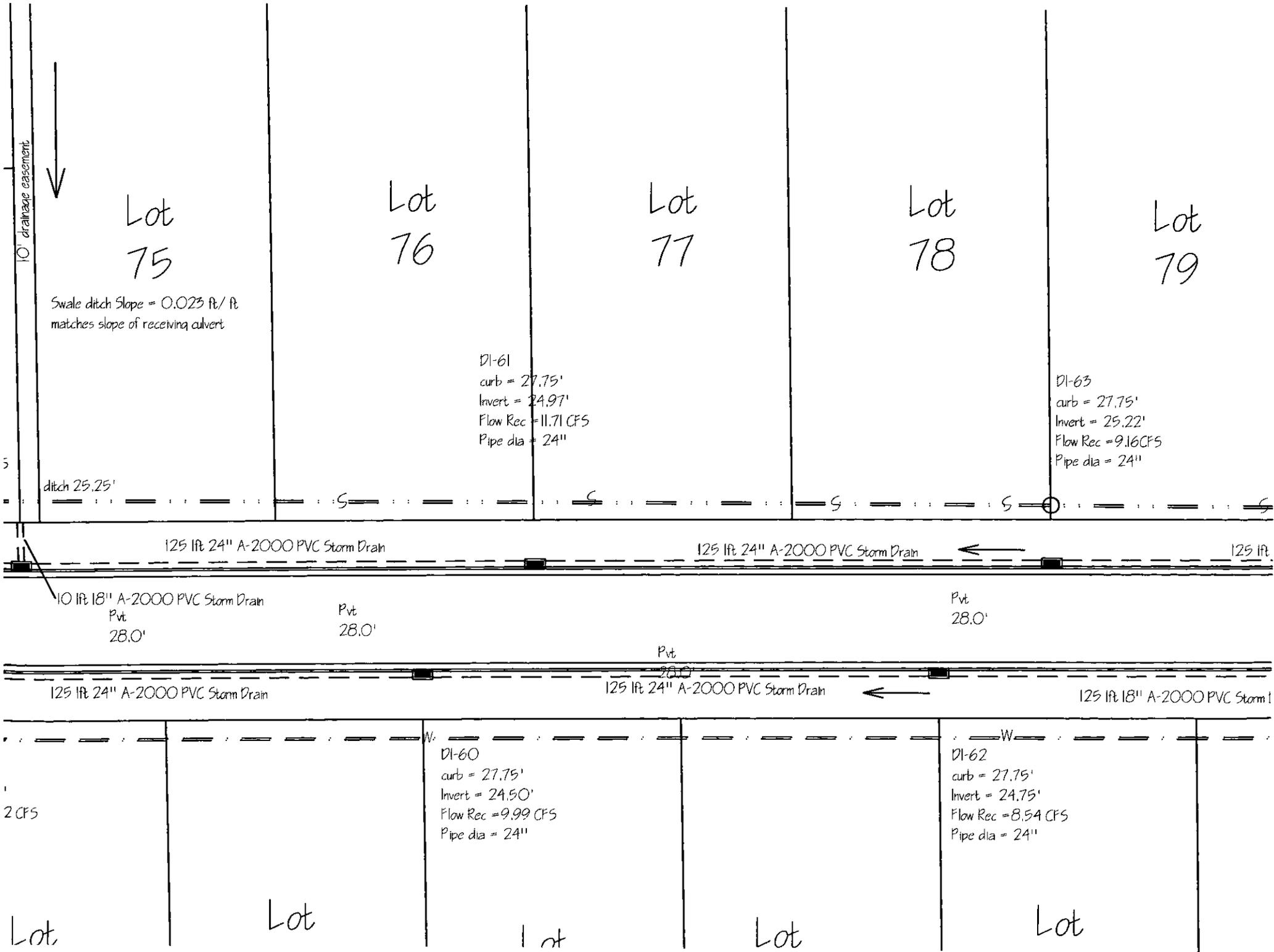
shalt coated CMP.

2-48" they shall be LA DOTD

N 8  
(Called)

21'39" E | 58.82'  
3°05'44" E | 58.54'





10' drainage easement

Lot 75

Swale ditch Slope = 0.023 ft/ft  
matches slope of receiving culvert

ditch 25.25'

Lot 76

DI-61  
curb = 27.75'  
Invert = 24.97'  
Flow Rec = 11.71 CFS  
Pipe dia = 24"

Lot 77

Lot 78

DI-63  
curb = 27.75'  
Invert = 25.22'  
Flow Rec = 9.16 CFS  
Pipe dia = 24"

Lot 79

125 ft 24" A-2000 PVC Storm Drain

125 ft 24" A-2000 PVC Storm Drain

125 ft

10 ft 18" A-2000 PVC Storm Drain  
Pvt  
28.0'

Pvt  
28.0'

Pvt  
28.0'

125 ft 24" A-2000 PVC Storm Drain

Pvt  
28.0'  
125 ft 24" A-2000 PVC Storm Drain

125 ft 18" A-2000 PVC Storm

2 CFS

DI-60  
curb = 27.75'  
Invert = 24.50'  
Flow Rec = 9.99 CFS  
Pipe dia = 24"

DI-62  
curb = 27.75'  
Invert = 24.75'  
Flow Rec = 8.54 CFS  
Pipe dia = 24"

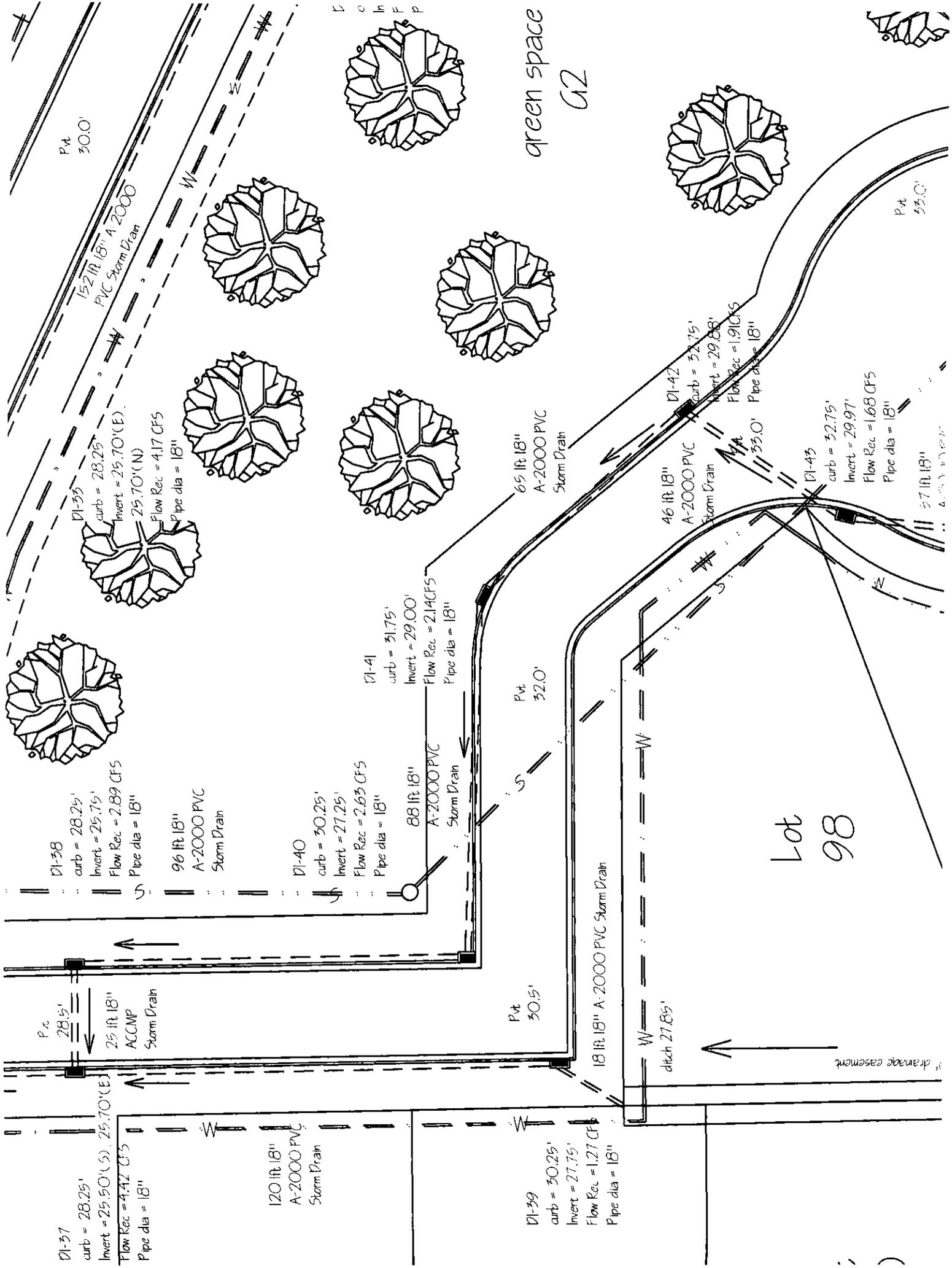
Lot

Lot

Lot

Lot

Lot



D1-37  
 curb = 28.25'  
 Invert = 25.50'(S), 25.70'(E)  
 Flow Rec = 4.47 CFS  
 Pipe dia = 18"

120 ft 18"  
 A-2000 PVC  
 Storm Drain

D1-39  
 curb = 30.25'  
 Invert = 27.75'  
 Flow Rec = 1.27 CFS  
 Pipe dia = 18"

Pvt 28.5'  
 25 ft 18"  
 ACCNP  
 Storm Drain

D1-38  
 curb = 28.25'  
 Invert = 25.75'  
 Flow Rec = 2.89 CFS  
 Pipe dia = 18"

96 ft 18"  
 A-2000 PVC  
 Storm Drain

D1-40  
 curb = 30.25'  
 Invert = 27.25'  
 Flow Rec = 2.65 CFS  
 Pipe dia = 18"

88 ft 18"  
 A-2000 PVC  
 Storm Drain

D1-41  
 curb = 31.75'  
 Invert = 29.00'  
 Flow Rec = 2.14 CFS  
 Pipe dia = 18"

Pvt 32.0'

65 ft 18"  
 A-2000 PVC  
 Storm Drain

46 ft 18"  
 A-2000 PVC  
 Storm Drain

D1-42  
 curb = 32.75'  
 Invert = 29.88'  
 Flow Rec = 1.91 CFS  
 Pipe dia = 18"

D1-43  
 curb = 32.75'  
 Invert = 29.97'  
 Flow Rec = 1.68 CFS  
 Pipe dia = 18"

Pvt 33.0'

18 ft 18" A-2000 PVC Storm Drain

ditch 27.85'

drainage easement

Lot 98

green space  
 G2

Pvt 30.0'

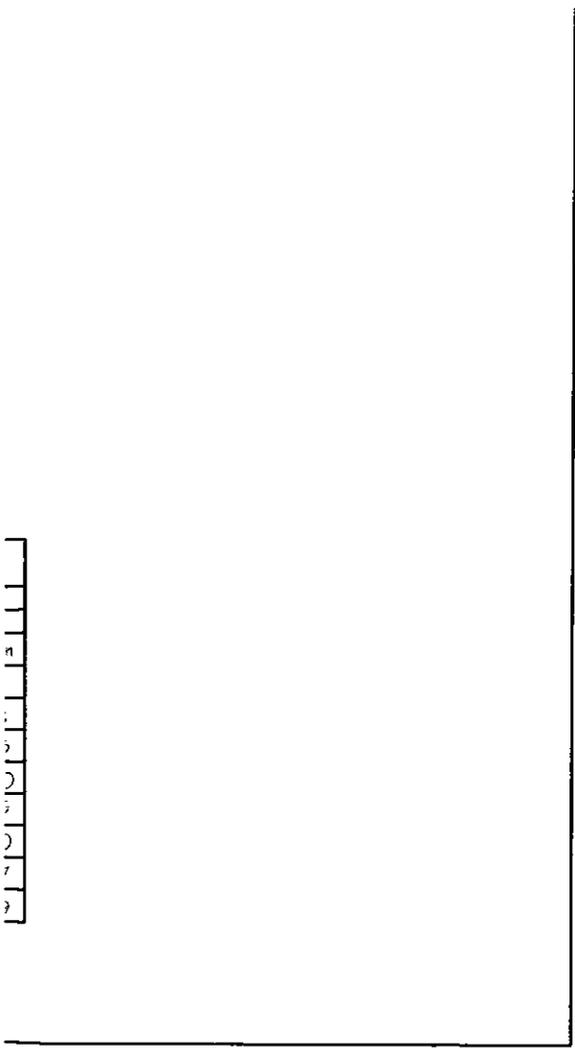
Pvt 33.0'

152 ft 18" A-2000  
 PVC Storm Drain

D1-35  
 curb = 28.25'  
 Invert = 25.70'(E),  
 25.70'(N)  
 Flow Rec = 4.17 CFS  
 Pipe dia = 18"

D1-44  
 curb = 33.0'  
 Invert = 29.88'  
 Flow Rec = 1.91 CFS  
 Pipe dia = 18"

Pvt 33.0'



Symmetrical About Centerline



ADDENDUM TO APPLICATION AND AGREEMENT FOR STANDBY LETTER OF CREDIT  
FOR ACCOUNT OF: TANGI EAST, LLC NO. 1  
IN FAVOR OF: CITY OF HAMMOND  
LETTER OF CREDIT WHEN ISSUED WILL BE WORDED AS FOLLOWS:

**IRREVOCABLE STANDBY LETTER OF CREDIT**

Issue Date: \_\_\_\_\_

**Beneficiary:**

City of Hammond  
Attn: Pete Panepinto, Mayor  
310 East Charles Street  
Hammond, LA 70401

**Applicant:**

Tangi East, LLC No. 1  
c/o Bruno Brothers Mgt. and Dev. Co.  
70325 Highway 1077  
Suite 300, Covington, LA 70433

Currency/Amount: USD \_\_\_\_\_  
Not Exceeding

Expiry Date: \_\_\_\_\_

Expiry Place: New Orleans, LA

We hereby irrevocably authorize you to draw on Whitney Bank not exceeding in the aggregate U.S. \$ \_\_\_\_\_ (Amount in Words), available by your draft(s) at sight for the account of Tangi East, LLC No. 1, c/o Bruno Brothers Mgt. and Dev. Co., 70325 Highway 1077, Suite 300, Covington, LA 70433 for all public improvements for Providence Ridge Subdivision Phase II in Hammond, LA.

Draft(s) must be presented at our office in \_\_\_\_\_ in Louisiana, on or prior to \_\_\_\_\_, and must bear, upon the face, the clause "Drawn under Whitney Bank, New Orleans, LA, Irrevocable Standby Letter of Credit No. \_\_\_\_\_, dated \_\_\_\_\_."

Draft(s) must be accompanied by:

- (1) This original Letter of Credit; and

(2) Certificate purportedly signed by the Mayor of the City of Hammond, certifying that Tangi East, LLC No. 1 is in default of its obligation to the City of Hammond for all public improvements for Providence Ridge Subdivision Phase II in accordance with the City of Hammond plans and specifications.

insert: as shown on the construction plans prepared by \_\_\_\_\_ dated \_\_\_\_\_ ...

We hereby agree with you that draft(s) drawn under and in compliance with the terms of this Letter of Credit will be duly honored on delivery of specified documents not later than 2:00 P.M. to Whitney Bank, International Banking Division, 201 Camp Street, New Orleans, LA 70130, if presented on or before the above mentioned date.

This credit is subject to International Standby Practices, ISP98 a published by the Institute of International Banking Law & Practice, bearing International Chamber of Commerce (ICC) Publication No. 590.

\_\_\_\_\_  
Authorized Signature

*Robert Barrilleaux & Assoc., Inc.  
42333 Deluxe Plaza Ste. 8  
Hammond, LA 70403*

Clay Barrilleaux

Todd Ryan

Mark Chemay

October 28<sup>th</sup>, 2015

Mr. Carl Perkins  
Tangl East, LLC  
70325 Hwy 1077  
Covington, LA 70433

Re: Providence Ridge Estimate for Bond

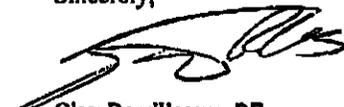
Mr. Perkins,

Find below my estimation of the required amount for bonding for the infrastructure on this project.

Road	5000 lft	\$325,000
Curb&gutter	10000 lft	\$125,000
Water main	5000 lft	\$60,000
Water services	99 each	\$49,500
Fire Hydrants	15 each	\$37,500
Sewer main	5000 lft	\$80,000
Sewer services	99 each	\$49,500
Sewer Manholes	17 each	\$42,500
Lift Station	1 each	\$150,000
Sewer force main	1575 ft	\$20,000
Stormwater pipe	10000 ft	\$400,000
Drain Inlets	72 each	\$144,000
Lights	32 each	\$64,000
Pond construction	55,000 CY	\$275,000
Ditching/swales	3900 ft	\$25,000
Fencing		\$25,000
Contingency		\$78,000
<b>Total Cost</b>		<b>\$1,950,000</b>

Should you have any questions please contact me at my office.

Sincerely,



Clay Barrilleaux, PE



**City of Hammond  
Street Department  
Robert Morgan, Street Superintendent**

**Pete Panepinto  
Mayor**

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P.O. Box 2788 Hammond, LA 70704-2788 • PH (985) 277-5957 • FAX (985) 277-5958

Tracie Schillace  
City of Hammond  
Planning & Zoning

To Tracie Schillace,

There were no issues with Providence Ridge Subdivision.

Sincerely,

Robert Morgan  
Superintendent Street Department



**City of Hammond  
Water & Sewer Department  
Guy Palermo, Superintendent**

**Pete Panepinto  
Mayor**

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P.O. Box 2788 Hammond, LA 70704-2788 • PH (985) 277-5962 • FAX (985) 277-5959

To: Josh Taylor  
Re; Providence Ridge Subdivision

Date: Feb 23,2016

The following need to be corrected.

- 1- Extended sewer to lot 3 & 4 property line for laterials for these lots. Needs to be a manhole on the end of the line. Plans show them tying into the sewer force main and that can not be done.
- 2- Sewer manhole #16 needs to be moved away from pond bank.
- 3- Need to have 5 foot gates at pumping station for truck access, Not 3 foot gates.
- 4- They can drop the new force main into the new manhole on lot 3&4 if they would like to. This will keep the force main from so close to the
- 5- Lift station spec plans dated 11/30/2015 needs to be changed to what we agreed upon in our January meeting with the mayor and Chuck.
- 6- Lift station detail sheet dated 11/30/2015 needs to be changed to what we agreed upon in our January meeting with the mayor and Chuck.

**Guy Palermo, Superintendent**

**Water & Sewer Department**



# CITY OF HAMMOND

## PLANNING DEPARTMENT

P. O. BOX 2788 • HAMMOND, LOUISIANA 70404-2788  
219 East Robert Street – Hammond, LA 70401  
Phone (985) 277-5649 Fax (985) 277-5658

MAYOR  
Pete Panepinto  
panepinto\_p@hammond.org

CITY PLANNER  
Josh Taylor  
taylor\_j@hammond.org

November 9, 2015

Tangi East LLC  
70325 Hwy 1077, Suite 300  
Covington, LA 70433

**SUB-2015-05-00015 Major Resubdivision** request by Tangi East LLC at Temp Add #17 for final subdivision approval of Providence Ridge Residential Subdivision (Lots 1-101 & Green space), acceptance of dedication of all public improvements, and acceptance of performance bond for the construction of all public improvements in accordance with final plat and construction drawings by Barrilleaux and Associates Inc.; Zoned RS-5

Dear Tangi East LLC,

On November 5, 2015 the Planning Commission voted to recommend approval on your Major Subdivision request in accordance with a plat & construction drawings by Barrilleaux & Associates, Inc. with the following condition; final approval from all city department heads.

We will forward your case to Hammond City Council for final decision once this requirement has been met.

If you have any questions or need additional assistance, please contact me.

Sincerely,

Josh Taylor  
City Planner

JT/ha

## Tracie Schillace

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**From:** Tracie Schillace  
**Sent:** Tuesday, January 12, 2016 12:50 PM  
**To:** Carl Perkins (cperkins@perkinsplc.com)  
**Subject:** FW: Flooded Suction Lift Sta sample specifications  
**Attachments:** LS Flooded Suction [PS23].pdf

FYI

-----Original Message-----

**From:** Chuck [mailto:chuck@spanglerengineering.com]  
**Sent:** Tuesday, January 12, 2016 11:52 AM  
**To:** Lacy Landrum; webb@spanglerengineering.com  
**Cc:** Guy Palermo; Pete Panepinto; Tracie Schillace  
**Subject:** Flooded Suction Lift Sta sample specifications

Lacy:  
Please fwd to Carl the attached sample specifications (note 3 equal manufacturers are listed for the Westin Oaks Lift Station).

Also note the operating conditions are specific for the Westin Oaks project...the Providence Ridge operating conditions are different; therefore, the pump models would be different.

Chuck

-----Original Message-----

**From:** Lacy Landrum [mailto:landrum\_l@hammond.org]  
**Sent:** Tuesday, January 12, 2016 10:56 AM  
**To:** chuck@spanglerengineering.com; webb@spanglerengineering.com  
**Subject:** Fwd: Providence Ridge Comments

Sent from my iPhone

Begin forwarded message:

**From:** Tracie Schillace  
<schillace\_tc@hammond.org<mailto:schillace\_tc@hammond.org>>  
**Date:** October 16, 2015 at 12:32:18 PM CDT  
**To:** "clay.1@cox.net<mailto:clay.1@cox.net>"  
<clay.1@cox.net<mailto:clay.1@cox.net>>,  
"tryan@barrilleaux.net<mailto:tryan@barrilleaux.net>"  
<tryan@barrilleaux.net<mailto:tryan@barrilleaux.net>>, "Carl Perkins  
(cperkins@perkinsplc.com<mailto:cperkins@perkinsplc.com>)"  
<cperkins@perkinsplc.com<mailto:cperkins@perkinsplc.com>>  
**Cc:** Josh Taylor <taylor\_j@hammond.org<mailto:taylor\_j@hammond.org>>, Chuck Spangler  
<chuck@spanglerengineering.com<mailto:chuck@spanglerengineering.com>>, Webb Anderson  
<webb@spanglerengineering.com<mailto:webb@spanglerengineering.com>>, Robert Morgan  
<morgan\_rm@hammond.org<mailto:morgan\_rm@hammond.org>>, Guy Palermo

<palermo\_gl@hammond.org<mailto:palermo\_gl@hammond.org>>, Janice Russo  
<russo\_jm@hammond.org<mailto:russo\_jm@hammond.org>>, Lacy Landrum  
<landrum\_l@hammond.org<mailto:landrum\_l@hammond.org>>, Pete Panepinto  
<panepinto\_p@hammond.org<mailto:panepinto\_p@hammond.org>>  
Subject: Providence Ridge Comments

Clay,

I have attached the Planning Dept. comments for Providence Ridge based on the most recent construction plans received on 10/5/2015.

I have also attached the comments from Guy & Janice emailed on 10/13/2015.

We are in the process of reviewing the cost estimates and I will forward any comment as soon as I receive them. We still have not received a copy of the Draft Performance Bond for review.

I have added this project on the Monday morning review meeting.

Thank you,

Tracie Schillace  
Planner/GIS Tech  
Planning Department

## TECHNICAL SPECIFICATIONS

### SANITARY SEWERAGE PUMPING STATION (Flooded Suction Type)

#### 1--GENERAL

The Contractor shall furnish and install two (2) flooded suction-type, automatic, wastewater pumps, installed in the EXISTING STATION ENCLOSURE, and a new P. C. Concrete Wet Well for the **Weston Oaks Lift Station [PS#23]**, as specified herein and shown on the contract drawings.

The principal items of equipment and work included in this project shall include, but not be limited to, the following:

- a. TWO (2) vertical, close-coupled, motor-driven, non-clog pumps ["9."];
- b. Pump foundations ["9."];
- c. Internal piping ["11."];
- d. Central control panel ["9."] with circuit breakers;
- e. Motor starters ["11."];
- f. Wiring of existing pumping level controls ["11."];
- g. 2 EA hand-wheel operated GATE VALVES (replacing existing gate valves); and 2 EA SWING CHECK VALVES (replacing existing gate valves) ["10."];
- h. Modification of piping to accommodate new pumping equipment and discharge piping ["10."];
- i. Installation of bypass pump connection ["10."];
- j. Sitework and clearing ["14."];
- k. Installation of new 10' diameter cast-in-place P. C. concrete wet well ["8."];
- l. Installation of new 18" diameter DI pipe between new wet well and existing wet well ["10."];
- m. Associated piping and electrical work to render the station functional and in accordance with these specifications and associated drawings.

These specifications describe equipment as manufactured by Deming Pump, Inc., Fairbanks Morse, or approved equal.

If, prior to the execution of the contract, the Engineer's approval is obtained for alternate equipment, the contractor shall, at his own expense, make any changes in the structures, piping, and electrical necessary to accommodate the equipment; if engineering is required due to substitution of other material, the contractor shall pay the Engineer for the engineering services. Substitution of equipment other than that specified and shown will not be considered after execution of the contract.

#### 2--OPERATING CONDITIONS

The new sewage pumping station shall meet or exceed the following specifications:

##### WESTIN OAKS LIFT STATION -

**Eight-hundred gallons per minute (800 GPM) at SIXTY feet Total Dynamic Head (60' TDH)**, when operating at the desired speed of 1,180 rpm. Operating efficiency at the selected point shall not be less than 68%.

The motors shall be TWENTY-FIVE horsepower (25.0 HP) minimum, three phase, 60 cycles, 230 volts.

The pumps shall be equal to one of the following, capable of passing 3" spheres, with the following prior approvals:

Manufacturer	Model	RPM	HP	Impeller	Efficiency
<b>FAIRBANKS-MORSE</b>	4" – B5435	1,180	25.0	TDE13	68%
<b>FAIRBANKS-MORSE</b>	5" – B5434	880	25.0	T5D1A	70%
<b>CRANE-DEMING</b>	7100 – 4x4x9.5x3	1,750	25.0	Per Mfg.	71%
<b>CHICAGO</b>	Type 2111 – 6410	1,760	25.0	4700002	70%

All openings and passages shall be large enough to permit passage of a sphere of 3" in diameter. The anticipated operating head range is from 45 feet to 70 feet maximum.

### **3—PUMPS**

A. **CONSTRUCTION:** Each pump shall be of standard all iron construction. Castings shall conform to ASTM-A48-64, Class 30 cast iron with tensile strength of 30,000 psi and capable of withstanding hydrostatic test pressure 1 1/2 times maximum working pressure. All assembly points shall be of machine register fit to assure proper pump alignment. Suction and discharge flanges shall be 125 lbs. Flat Face ANSI standard as indicated on the plans.

B. **MOUNTING:** Fig. 7190 Series Vertical - The pump base shall be designed to support the assembled weight of the pump and accessories and shall safely withstand all stresses imposed on it and all possible direct and eccentric loads. The height of the base shall be such that the flange of the suction elbow will clear the foundation. The base opening shall be large enough to permit easy access to the suction elbow and clean out hand hole. Suction elbow shall conform to the American National Standard flanged fitting dimensions and include contoured hand hole cover.

A motor pedestal shall be furnished to mount the motor on the pump frame. It shall be cast integral with the frame or as a separate casting, with register fit to insure alignment of the motor shaft and pump shaft. Shafts shall be connected with flexible shaft coupling.

C. **IMPELLER:** The impeller shall be single suction enclosed type, cast in one piece and accurately balanced. Exterior surfaces shall be machined accurately and interior surfaces shall have smooth waterways to prevent clogging. Vanes shall be rounded at the periphery and designed for minimum noise. Pumping vanes on the back shroud shall prevent accumulation of solids behind the impeller. The impeller shall be keyed to a straight fit shaft and secured with a gasketed washer and self-locking impeller screw with o-ring seal. External jackscrews shall be provided for adjustment of the impeller axial clearance without disturbing pump, piping, or driver.

D. **CASING:** The pump casing shall be of the end suction single volute design, cast in one piece and designed for handling solids. Large handhole cover shall be provided in the discharge nozzle for access to the pump impeller. Prime, vent, drain and gauge connections shall be included. Provision for casing rotation, to facilitate piping and back pull-out of the pump rotation assembly shall be standard construction.

E. **SUCTION COVER:** The suction cover shall be designed and accurately machined to fit the casing. The inlet contour shall match the impeller entrance to insure maximum performance. Suction cover shall be machined to receive suction elbow and base when used in vertical position.

F. **WEAR RINGS:** Renewable type wear rings shall be furnished for the impeller and suction cover to maintain pump efficiency. These rings shall be bronze.

G. **SHAFT AND SLEEVE:** The shaft shall be made of ASTM A193-87 Grade 4140 steel, accurately ground and polished, of sufficient diameter and bearing span to minimize deflection. A renewable shaft sleeve of ANSI 440C, shall protect the shaft against corrosion and wear. Sleeve shall be positioned against a shoulder on the pump shaft and against the impeller hub with a gasket seal between the end of the sleeve and the impeller hub. Sleeve shall be locked to the pump shaft.

H. **PACKING BOX COVER:** The packing box cover shall be a heavy, one-piece casting with rabbeted flange for positive alignment. It shall be deep enough to accept five rings of packing and lantern ring and have removable split type gland and arranged for grease lubrication. Inlet and outlet connections shall be provided in the packing box cover.

I. **POWER FRAME:** The power frame shall be high strength one piece construction, precision bored/ machined to assure positive alignment of the rotating assembly. The rotating assembly shall include heavy-duty re-greaseable ball or roller bearings, designed for maximum pump loads and thoroughly protected against dirt and moisture. Outboard bearing shall be double row angular contact type, cartridge mounted, locked in position by bearing lock nut and protected by a bearing cover. Inboard bearings shall be mounted on the shaft and free to move axially.

#### **4—MOTORS**

The pump motors shall be not less than **25 horsepower**. Motor size shall be sufficient size to prevent overloading at operating conditions or at the lowest listed head conditions, whichever point requires greater horsepower.

The pump motors shall be vertical, NEMA-base squirrel-cage induction type, suitable for 3 phase, 60 cycle, 120/240-volt electric current. They shall have Class F insulation, suitable for temperatures up to 115°C, but the motors shall have Class B temperature limits of 90°C rise by resistance, at 115% of rated load. The motors shall have normal starting torque and low starting current, as specified for NEMA Design B characteristics. They shall be open drip-proof design with forced air circulation by integral fan. Openings for ventilation shall be uniformly spaced around the motor frame. Leads shall be terminated in a cast connection box and shall be clearly identified.

The motors shall have 1.15 service factor. The service factor shall be reserved for the owner's protection. The motors shall not be overloaded beyond their nameplate rating, at the design condition, nor at any head in the operating range as specified under Operating Conditions.

The motor-pump shaft shall be centered, in relation to the motor base, within 0.005". The shaft run-out shall be limited to 0.003".

The motor shaft shall equal or exceed the diameter specified under pumps, at all points from immediately below the top bearing to the top of the impeller. A bearing cap shall be provided to hold the bottom motor bearing in a fixed position. Bearing housings shall be provided with fittings for lubrication as well as purging old lubricants.

The motor shall be fitted with heavy lifting eyes, each capable of supporting the entire weight of the pump and motor.

The motors shall be manufactured by a nationally recognized manufacturer, and shall be available through local suppliers.

#### **5—PIPING**

Included in the lump sums bid for items "9. Install new Pumping Equipment – PS#23" and "10. Yard Piping – PS#23" are the modification of all piping to accommodate the new pumping equipment. The finished product shall be neat and free from irregular bends and connections.

New Pump suction lines shall be Schedule 40 steel or ductile iron

Existing check valves shall be replaced with 2 EA new check valves: check valves shall be of the spring-loaded lever type so that the clapper can be lifted to back-flush the pump and suction line. Straight-through check valves shall have stainless shaft with non-lubricated packing glands. The common discharge riser pipe and the discharge outlet shall be Schedule 40 steel or ductile iron.

## **6—WIRING**

Rewiring of the pump station shall be in accordance with the National Electrical Code (NEC). All internal rewiring shall be run in conduit as noted on the plans. The pump station shall be wired for 4 wire, 3 phase, 60 hertz, 120/240 volt power.

All wiring in the control panel shall be color-coded. All wiring from the control panel to the junction boxes adjacent to the served electrical equipment shall be in conduit. Short leads of flexible polyvinyl covered steel conduit, with compatible grounding fittings, shall be used between the junction boxes and the pump motors. All conduit and wires shall be adequately sized for the maximum anticipated loads. All conduits shall be neatly arranged and securely clamped to slotted steel channel, welded to the pump station structure.

## **7—DUPLEX PUMP CONTROL PANEL**

The power distribution center and electrical controls shall be mounted in a common NEMA Type 1 gasketed fabricated steel enclosure. The enclosure shall have a full opening door, mounted on heavy piano hinges. Suitable type latching devices shall be provided on the door. Starters, breakers, relays, timers, control power transformers, and wiring raceway shall be neatly arranged on a removable steel back plate. All circuit breaker operators, selector switches, indicating lights, and single phase items shall be mounted on or through die cut openings in the enclosure door. A GFI duplex grounding type convenience outlet shall be mounted in die cut openings on the side of the enclosure, for operation of 115-volt devices. It shall not be necessary to open this enclosure, except for adjustment of controls.

The operation of the pump control panel will be by the existing Mercoïd pump controller to be reconnected as noted in this addendum.

The control panel shall conform to the National Electrical Code specifications and shall be UL listed and labeled in accordance with UL standard No. 508 for Industrial Control Panels. In accordance with U.L. procedures, a U.L. label shall be affixed to the control panel.

Properly sized, heavy duty, molded case thermal-magnetic air circuit breakers shall be provided for branch circuit disconnect service and for over-current protection of all control, motor and auxiliary circuits. Properly sized open frame, across the line, NEMA rated magnetic motor starters shall be provided for the pump motors. Motor starters will be provided with these standard features: dual voltage, dual frequency coils, overload test feature, front removable auxiliary interlocks, straight through wiring with large silver cadmium contacts which are easily replaceable without removing starter from its mounted position. All NEMA rated starters will be provided with a solid state overload block providing under voltage and overload protection, true phase loss protection; trips within 3 seconds. Overload shall be self protected against short circuits, self-powered and requiring no hard wiring or separate power source. Starters shall be U.L. listed 508 and CSA certified.

Six digit, non-resettable elapsed time meters shall be provided to record the running time of each pump motor. These devices shall be mounted in die cut openings in the enclosure door.

Provide 1 – 20 amp 1 pole breaker with conduit and wiring as required for the existing air compressor, dehumidifier, exhaust fan, sump pump, lights, receptacles, and the Mercoïd pump controller 120 volt power. Contractor shall verify all equipment phase, volts, amps and adjust circuit breakers and conduit wiring accordingly.

## **8—SPARE PARTS**

Two (2) complete replacement pump shaft seal assemblies shall be furnished and placed in the dry pit of PS#23. Each spare seal container shall include complete installation instructions. A spare filter element for each seal filter shall also be provided, in the same container as the pump shaft seal. Spare volute gaskets for the two (2) pumps shall also be furnished.

## **9—GUARANTEE**

The Contractor shall provide a WRITTEN EXTENDED guarantee for all work for a period of **TWO (2) years from date of start-up or THIRTY (30) MONTHS from date of shipment, whichever is shorter**, that the structure and all equipment will be free from defects in design, material and workmanship. Warranties and guarantees by the suppliers of various components in lieu of a single source responsibility by the Manufacturer will not be accepted. The pump Manufacturer shall assume prime responsibility for the guarantee of the pumping equipment

In the event a component fails to perform as specified or is proven defective in service during the guarantee period, the Manufacturer shall provide a replacement part without cost to the owner. He shall further provide, without cost, such labor as may be required to replace, repair or modify major components such as the station structure, pumps, pump motors, main piping manifold, etc.

The replacement or repair (including cost of parts and labor) of those items normally consumed in service, such as pump seals, fluorescent tubes, oil, grease, etc., may be considered as part of routine maintenance and station upkeep.

It is not intended that the Manufacturer assume responsibility for contingent liabilities or consequential damages of any nature resulting from defects in design, material, workmanship or delays in delivery, replacement or otherwise.

## **10—CONCRETE WET WELL**

A new cast-in-place concrete wet well shall be installed adjacent to the existing wet well at PS#23 and included in the lump sum bid for item "8. Install new PCC Wet Well – PS#23":

1. Wall thickness: 8" (may be revised if Class IV pre-cast concrete is utilized).
2. Bottom thickness: 12" with built up invert/taper
3. Top thickness: 6"
4. Access Hatch: 24"x30" aluminum with stainless steel hinges (equal to Halliday S1R 2430)
5. Wall Penetrations: Southeast – 18" (incl. "Link Seal" tying into *existing wet well*)
6. Top Penetrations: 1 EA 12" diameter PVC vent with 180° bends and SS insect screen.

Refer to the drawings for more detailed dimensional information.

The interior of the New Wet Well at PS#23 shall be lightly water blasted and cleaned out prior to final acceptance.

Excess excavated material shall be graded to drain:

- a. Fine graded as backfill against the new wet well walls; and
- b. On site to a depth of not greater than 3' deep.

## 11—MEASUREMENT AND PAYMENT

Measurement and payment for these items of work shall include all plant, labor, materials, freight, and other costs associated with the completion of work indicated on the Construction Plans, and as indicated herein and in related portions of these specifications. The work shall include all work shown on the applicable plans and details including, but not limited to clearing & grubbing of the site, excavation and installation of the new wet well, electrical work, piping, installation of all new piping, connections, shoring (as required), de-watering (including well-pointing of the new wet well excavation), relocation/rerouting (as necessary) of adjacent conflicting utilities (owned by other utility companies), start-up and demonstration of operation, operation and maintenance manuals, As-Built drawings, testing report certifications, EXTENDED WARRANTY, and other items of work as specified by the Engineer and reasonably implied herein.

Payment shall be based upon the Lump Sum bid for items "8.", and "9.", as applicable, payable as completed in-place and accepted by the Engineer in the following increments of the Lump Sum bid:

<b>Bid item "8. Install new PCC WET WELL – PS#23; LUMP SUM"</b>	
TASK	Percentage of Partial Payment
8a. Site Preparation; concrete base	30%
8b. PCC wet well walls	35%
8c. Cast-in-place P. C. Concrete top	10%
8d. Installation/tie-in of piping	10%
8e. Backfill/grading/concrete slab	10%
8f. Correction deficiencies/on-line	5%
Bid item "8.":	100%

<b>Bid item "9. Install new PUMPING EQUIPMENT – PS#23 - duplex flooded suction pumps capable of 800 gpm @ 60' TDH; LUMP SUM"</b>	
TASK	Percentage of Partial Payment
9a. Interim/bypass pumping; maintenance of flow	5%
9b. Modifications to piping manifold/new valves	15%
9c. Delivery of pumping equipment to site	40%
9d. Installation of pumping equipment	20%
9e. Completion of piping/electrical work*	5%
9f. Start-up/Demonstration	10%
9g. Correction deficiencies/on-line	5%
Bid item "9.":	100%

\* All "Electrical Work" (except item "9.e." above) included in item "11."

# NOTICE TO STOP WORK

TO COMPLY WITH CITY OF HAMMOND  
ARTICLE SECTION SPECIFICALLY:  
Article 2.3.4, Article 3.1.2, Article 3.2.1, Article 11.1

OF CHAPTER Unified Development Code OF

THE CODE OF ORDINANCES # 14-5364

STATES: No person may subdivide land except in accordance with  
procedures of 2.3.4; approval must be obtained to subdivide land  
under 3.2.1; A permit is required for development activity as  
provided in 3.1.2; construction plans for public sewage facilities  
shall be approved by the city Engineer under 11.1.

LOCATION OF VIOLATION:

PROvidence  
NAME OF PROPERTY OWNER: Jang, East LLC  
ADDRESS: 70305 Hwy 1077, Suite #300  
CITY: Hammond Louisiana STATE: LOUISIANA ZIP: 70407 70433  
CONTRACTOR OR AGENT:

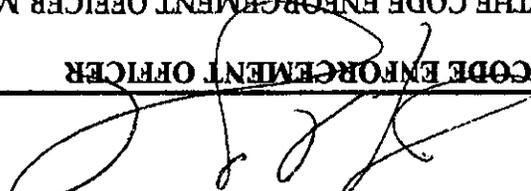
A VISUAL INSPECTION OF THE ABOVE LOCATION WAS MADE BY THE  
UNDERSIGNED CODE ENFORCEMENT OFFICER, OF THE CITY OF  
HAMMOND'S BUILDING DEPARTMENT, ON THE FOLLOWING DATE AND  
TIME: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ : \_\_\_\_\_ [ ] AM [ ] PM

AS MANDATED BY THE ABOVE REFERENCED ORDINANCES AND IN ACCORDANCE  
WITH ARTICLE VI, SEC 9-94, STOP WORK ORDER, THE ABOVE NAMED OWNER,  
CONTRACTOR OR AGENT IS HEREBY ORDERED TO CAUSE THE WORK IN  
PROGRESS TO BE STOPPED.

**DO NOT REMOVE!**

REMOVAL OF THIS POSTED ORDER SHALL BE SUBJECT TO PENALTY OF LAW.

CODE ENFORCEMENT OFFICER



DATE/TIME

1/22/16

THE CODE ENFORCEMENT OFFICER MAY BE REACHED AT BUILDING  
DEPARTMENT CITY OF HAMMOND AT 504/ 543-3220.



# CITY OF HAMMOND

## PLANNING DEPARTMENT

P. O. BOX 2788 • HAMMOND, LOUISIANA 70404-2788

219 East Robert Street – Hammond, LA 70401

Phone (985) 277-5649 Fax (985) 277-5638

MAYOR  
Pete Panepinto  
panepinto\_p@hammond.org

CITY PLANNER  
Josh Taylor  
taylor\_j@hammond.org

January 25, 2016

Tangi East, LLC No. 1  
70325 Highway 1077, Suite 300  
Covington, LA 70433

Attention: Robert J. Bruno

RE: Providence Ridge Subdivision

Dear Mr. Bruno:

This correspondence is sent to you as notice of violation of multiple City ordinances in connection with work undertaken on property you own at the Providence Ridge development in the City of Hammond without the necessary authorization, approval and permits. A Notice to Stop Work has been issued for this project.

Under the City of Hammond Unified Development Code Article 2.4.3, any person or company who violates any provisions of the UDC or fails to comply therewith or with any of the requirements thereof, shall be guilty of a misdemeanor and shall be fined not less than \$250.00 and not more than \$500.00, or be imprisoned for not more than 30 days, for each day that the violation continues and each day such violation shall be permitted to exist shall constitute a separate offense. Under this ordinance the owner and any architect, builder, contractor, person or corporation employed in connection therewith and who may have assisted in the commission of such violation shall be deemed guilty of a separate offense.

Based on my review of all the circumstances surrounding this matter, I am prepared to impose a fine of \$500.00 per day for thirty (30) days which I estimate to be the days the unlawful construction was undertaken. This fine is assessed against you as the owner and your contractor. Therefore, the total fine to you as owner is \$15,000.00, and the total fine to your contractor is \$15,000.00.

This matter is intended to be submitted to the Hammond City Council for final approval of your construction plans. It will be my recommendation to the Council that this approval be conditioned upon both the payment of all fines as identified herein and verification that all work previously performed fully satisfies all requirements of the City.

I am giving you an opportunity to meet with me to show why the fine which is to be imposed should not be enforced. Please contact me within three (3) days of your receipt of this letter to schedule any meeting should you wish to do so.

Sincerely,

Josh Taylor  
City Planner/Building Official





# CITY OF HAMMOND

## PLANNING DEPARTMENT

P. O. BOX 2788 • HAMMOND, LOUISIANA 70404-2788

219 East Robert Street – Hammond, LA 70401

Phone (985) 277-5649 Fax (985) 277-5658

**MAYOR**

Pete Panepinto

panepinto\_p@hammond.org

**CITY PLANNER**

Josh Taylor

taylor\_j@hammond.org

February 5, 2016

Tangi East, LLC  
70325 Hwy 1077, Suite 300  
Covington, LA 70433

**SUB-2015-01-00033 Minor Subdivision** request for Tangi East LLC to resubdivide Tract E-1 & Tract D into Tract E-1A & Tract D-1 of Providence Ridge Subdivision located at TempAdd#17 in accordance with survey by John G. Cummings dated 11/24/2015; Zoned RS-3 & C-H

Dear Tangi East, LLC,

On February 4, 2016 the Planning Commission voted to approve your above request in accordance with a survey by John G. Cummings, PLS dated 11/24/2015.

If you have any questions you may email me at [taylor\\_j@hammond.org](mailto:taylor_j@hammond.org)

Sincerely,

Josh Taylor  
City Planner

**JOHN G. CUMMINGS & ASSOCIATES**

PROFESSIONAL LAND SURVEYORS

1500 AVENUE

NOTATION THAT ALL APPLICABLE SERVITUDES AND/OR  
BEEN SHOWN HEREON, ANY SERVITUDES AND/OR  
ON THIS PLAT ARE LIMITED TO THOSE SET FORTH  
AND/OR INFORMATION FURNISHED THE UNDERSIGNED.  
RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE  
ED IN COMPILING DATA FOR THIS SURVEY.

CITY COUNCIL PRESIDENT

CITY PLANNER/BUILDING OFFICIAL

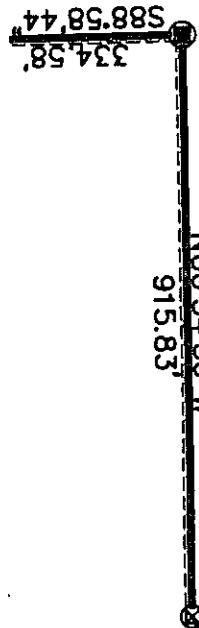
PLANNING COMMISSION CHAIRMAN

OWNER SIGNATURE

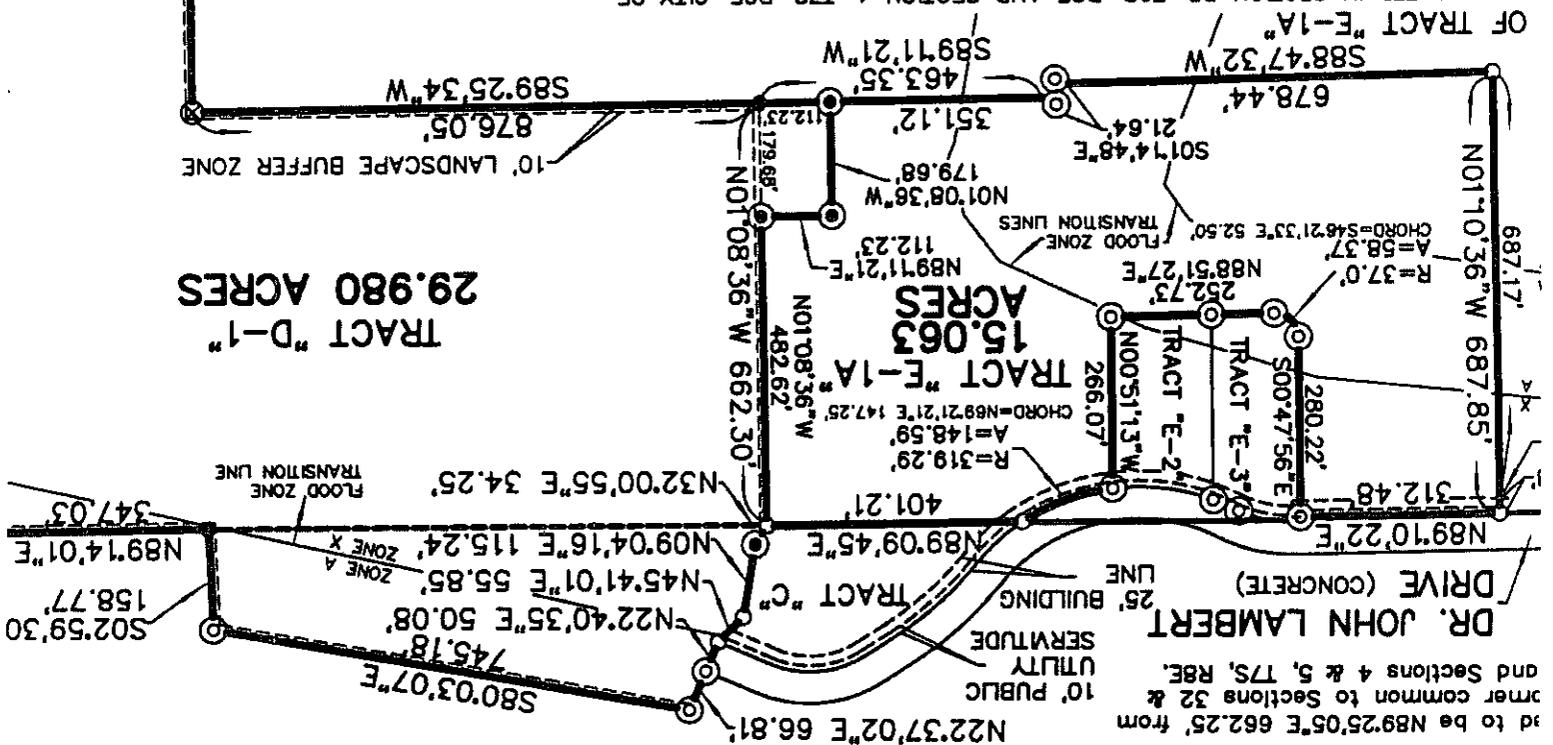
MINOR SUBDIVISION APPRC

THIS PROPERTY IS LOCATED IN FLOOD  
X, PER F.E.M.A. MAP NO. 2202060435F  
JULY 22, 2010.

NOTE:



**TRACT "D-1"**  
**29.980 ACRES**



AND LOCATED IN SECTION 33, T6S, R8E AND SECTION 4, T7S, R8E, CITY OF  
GIPAHOLA PARISH, LOUISIANA AND MORE FULLY DESCRIBED AS FOLLOWS:  
THE CORNER COMMON TO SECTIONS 32 & 33, T6S, R8E AND SECTIONS 4 & 5,  
ICE N89°25'05"E 30.0' TO A POINT, THENCE N89°25'05"E 632.25' TO A POINT,  
ID, THENCE 678.17' TO A 1/2" IRON PIPE FOUND, THENCE N88°47'32"E 678.44' TO A 1/2"  
ID, THENCE N01°14'48"W 21.64' TO A 1/2" IRON ROD FOUND, THENCE N89°11'21"  
2" IRON ROD SET, THENCE N09°04'16"E 115.24' TO A 1/2" IRON PIPE FOUND,  
01'E 55.85' TO A 1/2" IRON PIPE FOUND ON THE EAST SIDE OF DR. JOHN LAMBERT  
N22°40'35"E 50.08' ALONG THE EAST SIDE OF SAID DRIVE TO A 1/2" IRON ROD  
OD FOUND, THENCE S02°59'30"E 158.77' TO A 1" IRON PIPE FOUND, THENCE  
7.03' TO A 5/8" IRON ROD FOUND, THENCE S01°00'44"E 1570.48' TO A 5/8" IRON  
ENCE S88°58'44"W 334.58' TO A 1-1/2" BOLT FOUND, THENCE N00°54'36"W 915.83'  
N ROD FOUND, THENCE S89°25'34"W 876.05' TO A 1" IRON PIPE FOUND, THENCE  
1.23' TO THE POINT OF BEGINNING, CONTAINING 29.980 ACRES.

OF TRACT "D-1"  
AND LOCATED IN SECTION 33, T6S, R8E AND SECTION 4, T7S, R8E, CITY OF  
GIPAHOLA PARISH, LOUISIANA AND MORE FULLY DESCRIBED AS FOLLOWS:  
THE CORNER COMMON TO SECTIONS 32 & 33, T6S, R8E AND SECTIONS 4 & 5,  
CE N89°25'05"E 30.0' TO A POINT, THENCE N89°25'05"E 632.25' TO THE POINT OF  
ID, THENCE S00°47'56"E 280.22' TO A 1/2" IRON ROD FOUND, THENCE GO ALONG A  
UTHEASTERLY DIRECTION HAVING A RADIUS OF 37.0' AN ARC LENGTH OF 58.37' AND  
46°21'33"E 52.50' TO A 1/2" IRON ROD FOUND, THENCE N88°51'27"E 252.73' TO A  
FOUND, THENCE N00°51'13"W 266.07' TO A 1/2" IRON ROD FOUND ON THE SOUTH  
H LAMBERT DRIVE, THENCE GO ALONG A CURVE IN A NORTHEASTERLY DIRECTION  
OTHERLY SIDE OF SAID DRIVE HAVING A RADIUS OF 319.29' AN ARC LENGTH OF  
CHORD OF N69°21'21"E 147.25' TO A 1/2" IRON PIPE FOUND, THENCE N89°09'45"E  
2" IRON PIPE FOUND, THENCE S01°08'36"E 482.62' TO A 1/2" IRON ROD SET,  
21"W 112.23' TO A 1/2" IRON ROD SET, THENCE S01°08'36"E 179.68' TO A 1/2"  
THENCE S89°11'21"W 351.12' TO A 1/2" IRON ROD FOUND, THENCE S01°14'48"E  
2" IRON ROD FOUND, THENCE S88°47'32"W 678.44' TO A 1/2" IRON PIPE FOUND,  
36"W 687.17' TO THE POINT OF BEGINNING CONTAINING 15.063 ACRES.

**CASHE COUDRAIN & SANDAGE**  
ATTORNEYS AT LAW

ANDRI G. COUDRAIN  
ASHLEY E. SANDAGE  
CHRIS D. BROADWATER  
SHAAN M. AUFOIN  
BROOKE E. DUFOR  
JAMIE POLOZOLA GOMEZ  
CHRISTOPHER J. EDWARDS JR.  
PATRICK G. COUDRAIN  
1000 PINE BLVD SUITE 1000

P.O. DRAWER 1509  
HAMMOND, LA 70404  
106 SOUTH MAGNOLIA ST  
HAMMOND, LA 70403

RODNEY C. CASHE 198 542 6848

PHONE (985) 542-6848  
FAX (985) 542-9602

[WWW.CCSATTORNEYS.COM](http://WWW.CCSATTORNEYS.COM)

[agc@ccsattorneys.com](mailto:agc@ccsattorneys.com)

February 18, 2016

*Via electronic mail only*

Mr. Robert Bruno  
Bruno Brothers Real Estate  
Management and Development  
[Amanda@brunomgmt.com](mailto:Amanda@brunomgmt.com)

RE: Providence Ridge Subdivision

Dear Robert:

This correspondence concerns the Providence Ridge Subdivision and is in response to your previous correspondence. As you know, a stop work order has been issued and fines imposed as a result of the commencement of work without final approval of the major subdivision plans by the Hammond City Council. Final approval of major subdivisions by the City Council is required before any work can begin (section 2.3.4 of the Unified Development Code). This matter is intended to be on the agenda of the Hammond City Council for introduction of the ordinance for approval at the February 23, 2016 meeting. The meeting is held at the Hammond City Council Chambers at 312 East Charles Street and the meeting will begin at the conclusion of the public hearing which is scheduled to start at 5:30 PM.

Considering that work is already begun without necessary approval, all existing work must be tested for compliance with required specifications. We suggest that this testing can be done prior to the February 23<sup>rd</sup> City Council meeting as we anticipate that City Council approval will be conditioned upon all existing work having been done in compliance with approved plans and specifications and tested.

The following testing is required: a pressure test, a lamp test and a deflection test by certified testing labs to evidence sufficiency and compliance. A representative of the City must be present during the testing and the results of the test must be provided to the City. In addition to the testing, elevations on the inverts must also be provided showing sufficient sloping. The City's contact person for this is Josh Taylor, the City Planner. Josh can be reached at (985) 277-5648.



Mr. Robert Bruno  
February 18, 2016  
Page 2

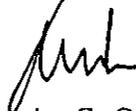
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As previously advised, further work, other than the testing as provided above, cannot proceed until the City Council has given its final approval. I will also be in touch with you concerning the fines that have been imposed by the City as provided under section 2.4.3 (A) of the Unified Development Code. In addition, you will need to identify your general contractor for the work.

I therefore recommend that you or someone from your office contact Josh Taylor as soon as possible to coordinate the required testing and elevations so that this project can timely proceed.

If you have any questions concerning this, please do not hesitate to contact me.

Very truly yours,



Andre G. Coudrain

AGC/sfp

Cc: Josh Taylor



**SUBDIVISION APPROVAL & LAND DEVELOPMENT APPLICATION  
CITY OF HAMMOND**

219 E. ROBERT ST., HAMMOND, LA 70401 / PHONE: (985) 277-5649 - FAX (985) 277-5638

FILING DATE: 5/1/15

PERMIT# SUB-2015-05-00015

The next Planning Commission Meeting will be held on 5/4/2015, at 5:00pm in the City Council Chambers, 312 E. Charles Street. Application to be submitted to Planning Department according to the deadline schedule.

This Application for:  Minor Subdivision  Administrative Subdivision  Major Subdivision

047R800000006

PARCEL # 1818708 (Please verify address w/City of Hammond GIS Dept.)

SITE LOCATION OR LEGAL DESCRIPTION: End of Dr. John Lambert Drive

Where did you get this address?  Post Office  City Building Dept.  911 Office  Other \_\_\_\_\_

List all current property owners:

PROPERTY OWNER: Tang, East LLC PHONE( ) \_\_\_\_\_

ADDRESS: 70325 Hwy 1077 Suite 101 Coughton, LA 70433  
Street or PO Box City State Zip  
(List additional PARCEL ADDRESS & PROPERTY OWNER information on reverse side of application.)

APPLICANT/DEVELOPER: JANE  
First Name MI Last Name

COMPANY NAME: \_\_\_\_\_  Owner  Contractor  Other

Applicant Mailing Address: \_\_\_\_\_  
Street or PO Box City State Zip

Applicant Telephone: ( ) \_\_\_\_\_ Applicant Fax: ( ) \_\_\_\_\_

PERMIT INFO-Additional Check if you will be applying for:  ANNEXATION  REZONING  VARIANCE

# of Acres: 29.63 # of Proposed Lots: 101

NAME OF DEVELOPMENT: Providence Ridge Subdivision

EXISTING ZONING: MX-N MX-C MX-CBD C-N C-H C-R I-H I-L  
RS-3 RS-5 RM-2 RS-8 RS-11 RM-3 RP RS-11.A S-1 S-2 SC

CURRENT USE OF LAND: None - Timber

INTENDED USE OF LAND:

Single Family Residential  Condominium/Townhouse  Multi-Family  Commercial  
 Industrial  Other (explain) \_\_\_\_\_

DESIGN ENGINEER/ARCHITECT Clay Barilleaux PHONE (985) 542-0391

WHI |  PROCEDURE "A" (with bond)  PROCEDURE "B" (without bond) BE USED?

**ATTENTION: APPLICANT**

NOTE: Six (6) copies of the complete plans and specifications and seven (7) additional copies of any property plat containing information pertaining to the attached check list shall be made part and submitted with the application for preliminary review.

ALL INFORMATION ON THIS APPLICATION MUST BE COMPLETE AND ALL FEES PAID BEFORE THIS APPLICATION WILL BE ACCEPTED ON THE AGENDA FOR THE CITY OF HAMMOND PLANNING & ZONING COMMISSION.

x [Signature]  
APPLICANT SIGNATURE

5/1/15  
DATE

x \_\_\_\_\_  
OWNER SIGNATURE

\_\_\_\_\_  
DATE

x \_\_\_\_\_  
CITY PLANNER

\_\_\_\_\_  
DATE

\*\*\*\*\* OFFICIAL USE \*\*\*\*\*  
Fees for Preliminary and Final Review: \$ 300.00 + \$5.00 for Each Lot or Building = TOTAL DUE \$ 815.00  
[Fees for Minor Subd. Review:] \$50.00 + \$2.00 for each lot or building = TOTAL DUE \$ 250.00

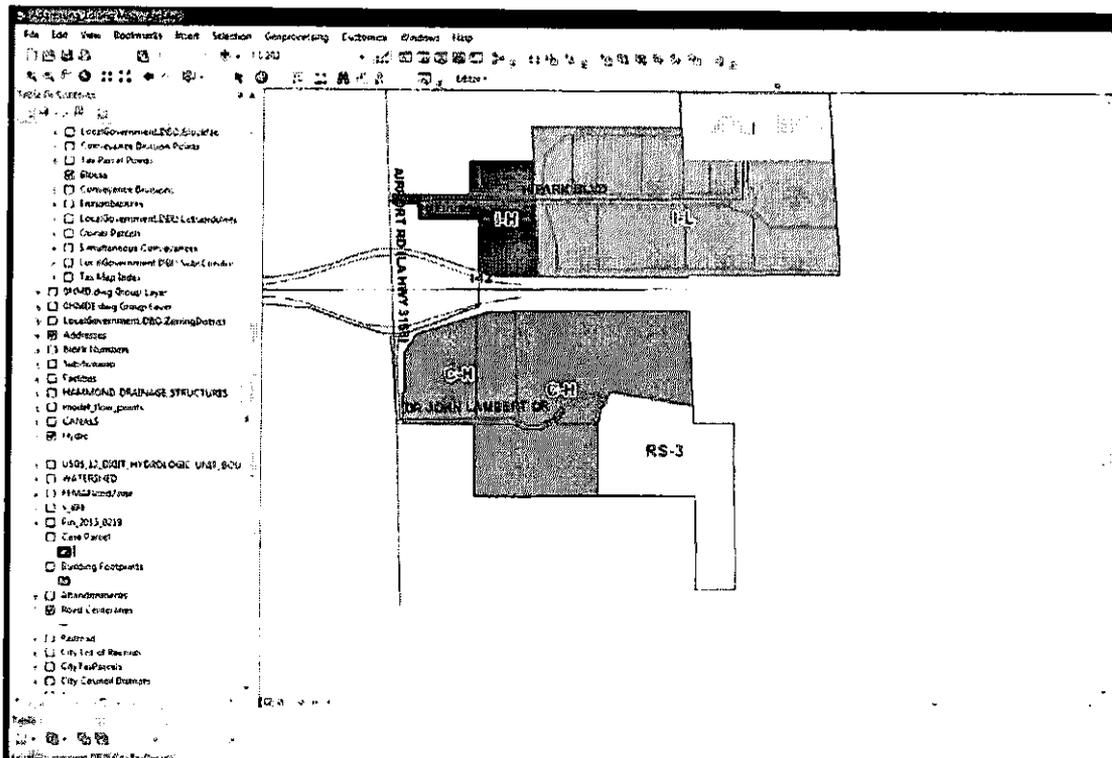
AMOUNT PAID: \$ 815.00 CHECK# 1081 PAID CASH  DATE PAID 5/1/15  
AMOUNT PAID: \$ \_\_\_\_\_ CHECK# \_\_\_\_\_ PAID CASH  DATE PAID  / /

# PROPERTY INFORMATION SHEET

<input type="checkbox"/>	Type of Permit	SUB	<input type="checkbox"/>	Date: 5/7/2015
<input type="checkbox"/>	Permit/Case #	SUB-2015-05-00015		
<input type="checkbox"/>	Parcel #	04T7R80000006		
<input type="checkbox"/>	Address	Temp Address 17		
<input type="checkbox"/>	Owner	Tangi East LLC		
<input type="checkbox"/>	Assessment #	1818708		
<input type="checkbox"/>	Zoning	RS-3		
<input type="checkbox"/>	Overlay District	NONE		
<input type="checkbox"/>	Flood Zone	A & X		
<input type="checkbox"/>	Flood Way	NONE		
<input type="checkbox"/>	Holds/Taxes	NONE/NONE		
<input type="checkbox"/>	Bldg Tax Value	(x 10% Res/15% Cml)	50% =	

(Renovations/additions 50% or more of the bldg value for properties in a flood zone-see regulations)

Screen  
Print



Preparer Initials \_\_\_\_\_

Reviewer Initials \_\_\_\_\_

I-H-12

I-L

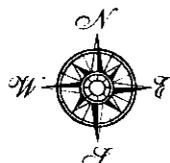
AIRPORT RD (LA HWY 3158)

C-H

C-H

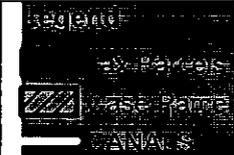
DR JOHN LAMBERT DR

RS-3



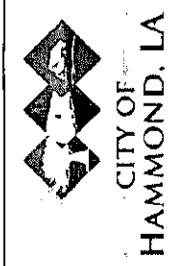
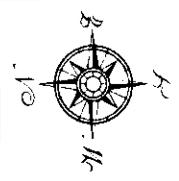
Temp Address #17

SUB-2015-05-00015





Source: Esri, DigitalGlobe, GeoEye, EarthStar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community



Temp Address #17  
SUB-2015-05-00015

